



# **Cammo Estate Regeneration Plan**

**Outline Conservation Statement**

**Activity Plan & Management Plan**

Prepared by LUC in association with Narro Associates  
April 2018

**Project Title:** Cammo Estate Regeneration Plan

**Client:** City of Edinburgh Council

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# Cammo Estate Regeneration Plan

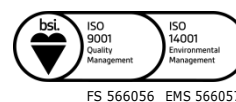
## Outline Conservation Statement, Activity Plan and Management Plan

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Planning & EIA  
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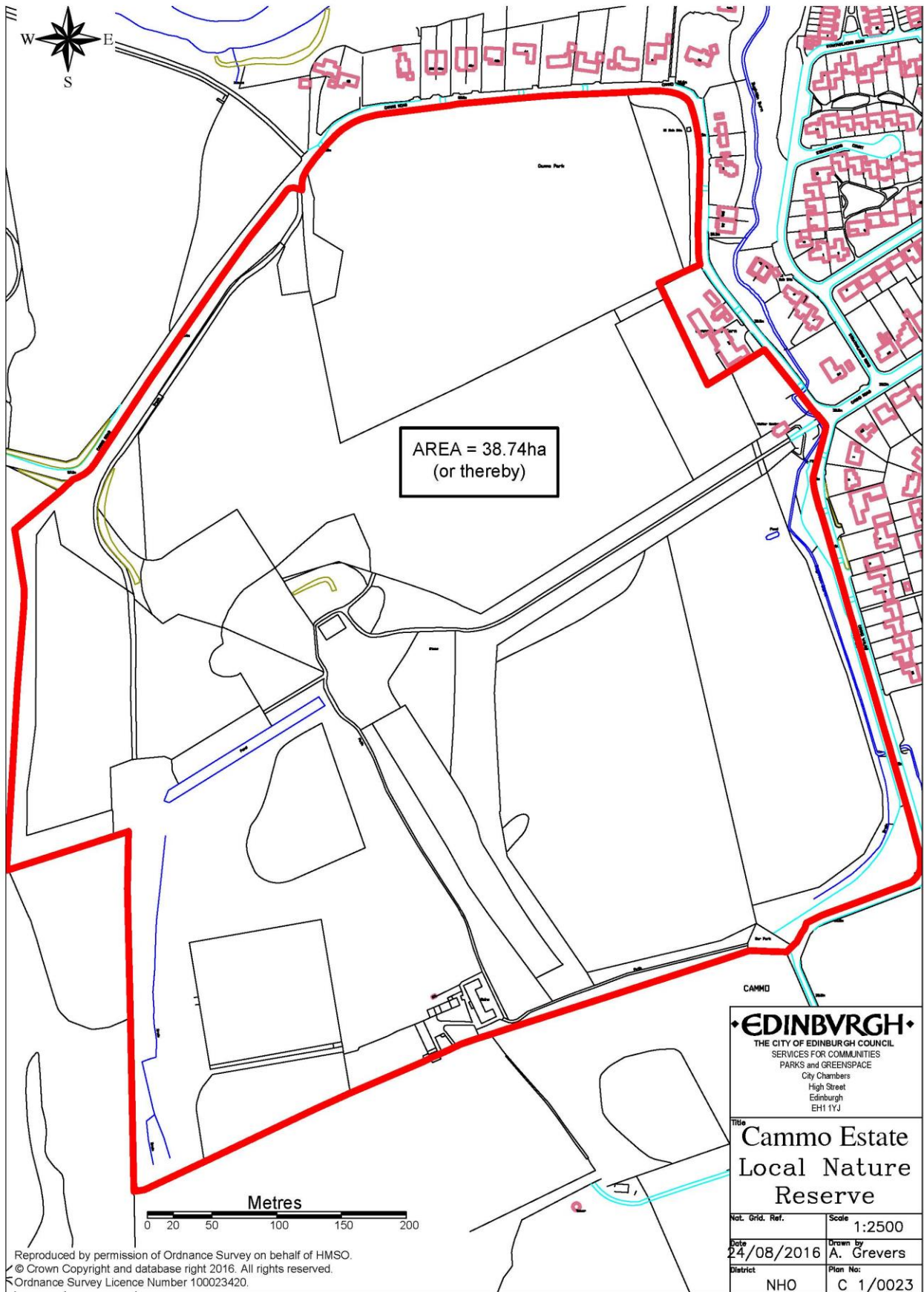
# 1 Introduction

## Authors & contributors

- 1.1 This report has been produced by LUC in conjunction with Narro Associates, consulting engineers. It responds to the brief issued by the City of Edinburgh Council (CEC) on the 12<sup>th</sup> May 2017 and to subsequent amendments confirmed in July 2017 and April 2018.
- 1.2 LUC's team has worked closely with the City of Edinburgh Council steering group in the development of these plans, and the proposals contained in this document have been subject to consultation with key stakeholders and the local community through a number of engagement events staged at milestones in the project. The Steering group has comprised of officers from CEC Forestry & Natural Heritage Service (FNH), Parks, and Greenspace & Cemeteries. Other key stakeholders include the Friends of Cammo; National Trust for Scotland; Scottish Natural Heritage, Historic Environment Scotland and other City of Edinburgh Council services.

## The Site

- 1.3 The subject of the study is Cammo Estate on the north-western edge of Edinburgh. The Estate has a rich history stretching back to the medieval period, and was latterly owned by the Maitland Tennant family until 1977 when it was entrusted to the National Trust for Scotland. It was subsequently feued to the City of Edinburgh Council in 1979 and remains the subject of a conservation agreement. One of its outstanding pieces of historical value is the remaining landscape framework, which was originally laid out by Sir John Clerk of Penicuik.
- 1.4 Cammo Estate occupies an area of 41 hectares on the urban fringe of Edinburgh, adjoining farmland (and Turnhouse Golf Course) on its north, west and southern sides, and with housing to the east. The River Almond runs close to its northern boundary and the Bughtlin Burn passes along the eastern boundary. The landscape has a relatively gentle topography, sloping from west to east, and with flatter areas adjacent to the Bughtlin Burn. To the south of the main designed landscape is a rounded hill topped by a roundel of mature trees; this is also part of the historic policies and is prominent local feature. The designed landscape comprises parklands, mature woodlands, a pinetum and ornamental canal, together with the ruined remains of Cammo House, the Stable Block, Walled Garden and former Estate Office & steading. The Cammo Gate Lodge and prominent Water Tower are notable intact buildings.



**Figure 1-1: Study Area boundary**



Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS

**Figure 1-2: Aerial showing full extent of Cammo Designed Landscape (study area in red boundary)**



## The Brief

- 1.5 The primary objective of this report is to guide the future conservation and development of Cammo Estate, and to provide essential supporting information for future funding applications to the Heritage Lottery Fund and other potential funding partners. The project brief has consequently been to establish a masterplan for the regeneration of the Cammo Estate landscape, and to define how this might be delivered over future years.
- 1.6 The project will specifically seek to demonstrate how it would meet Council policy objectives and criteria for funding by other parties including the Heritage Lottery Fund, and potentially Historic Environment Scotland, Scottish Natural Heritage, Forestry Commission, LEADER and others. It is the Council's intention to submit an early application to the Heritage Lottery Fund for part of the Cammo Regeneration Project. The criteria for HLF funding have consequently been used to guide the structure and content of this report as these are broadly applicable to other funders' requirements. These address the required outcomes for Heritage, People and Communities:
- For **Heritage**:
    - To be better managed
    - In better condition
    - Better interpreted and explained
    - Identified and recorded
  - For **People**:
    - To develop skills
    - To learn about heritage
    - To have changed their attitudes and/or behaviour
    - To have had an enjoyable experience
    - To provide opportunities for volunteered time
  - For **Communities**:
    - To reduce negative environmental impacts
    - More people and wider range of people will have engaged with the heritage of Cammo Estate
    - To make the area and community a better place to live , work and visit
    - To boost the local economy
    - To make the Cammo Estate more resilient against future environmental changes but also uses that any development would bring
- 1.7 The Council's brief recognises that the outputs should be in 'outline' as required for first round applications. This acknowledges that further surveys, research and development work will be required at a later stage to support second round applications, or to provide design information for planning, tendering and /or construction. For this document , LUC is required to :
- define the scope of potential work to conserve the estate landscape,
  - to examine in outline how activities for audience participation could be developed in Cammo Estate,
  - to prepare a 'masterplan' which provides the template for future funding applications, and which defines how the masterplan might be subdivided and delivered over time;
  - to examine the associated requirements management and maintenance of the future landscape, its facilities and activities;
  - and to define a stand-alone project from the Masterplan which will be the subject of the HLF application in 2018.

- 1.8 The contents of this report reflect the guidelines and methodologies of the Heritage Lottery Fund for Conservation Plans, Activity Plans and Management plans, but are developed to meet the First Round Application requirements in terms of detail.

## Policy Context

- 1.9 There are many policies and plans produced by the Scottish Government and the City of Edinburgh Council that set the strategic objectives and have relevance to the proposals in this report; these include:
- **Scottish Historic Environment Policy (SHEP)** - This sets out Scottish Ministers' policies, providing direction for Historic Scotland and a policy framework that informs the work of a wide range of public sector organisations.
  - **Scottish Planning Policy (SPP)** - This statement explains the Scottish Government policy on nationally important land use planning matters.
  - **Planning Advice Note (PAN) 2/2011: Planning and Archaeology-** The new Archaeology PAN reflects 17 years of accumulated changes in the policy context, the statutory planning system, the key stakeholders and in archaeological practices. Similar to its 1994 predecessor (PAN 42) it provides advice to planning authorities and developers on dealing with archaeological remains. But it does so with a fresh emphasis which is proportionate to the relative value of the remains and of the developments under consideration.
  - **Edinburgh City Local Plan-** This sets out the Council's policies to guide development in the city and its proposals for specific sites. The Plan covers the whole of the urban area, and part of its rural, Green Belt fringe. A second local plan, the Rural West Edinburgh Local Plan, covers the remainder of the Council's area, including Cammo Estate. The Edinburgh City Local Plan is a replacement for five existing local plans, prepared at various times since 1992, covering different parts of the same area.
  - **Edinburgh Local Biodiversity Action Plan 2010-2015-** The Edinburgh Local Biodiversity Action Plan (ELBAP), page 3, outlines its context for action in relation to legislation and responsibilities. The full plan can be found at [www.edinburgh.gov.uk/biodiversity](http://www.edinburgh.gov.uk/biodiversity)
  - **Edinburgh Core Path Plan 2008** – This was produced, through consultation, as a requirement under the Land Reform (Scotland) Act 2003. It identifies key routes for non-motorised access through out Edinburgh. In essence it supports sustainable transport objectives, contributes to better health, provides social benefits and contributes to tackling climate change. CEC 11 River Almond route passes through Cammo Estate.
  - **Capitalising on Access** – An Access Strategy for the City of Edinburgh – The City of Edinburgh Council – September 2003- The Strategy sets out a framework for developing inclusive access for everyone who lives in, works in, and visits Edinburgh.
  - **Edinburgh Public Parks and Gardens Strategy** – The City of Edinburgh Council, March 2006- The purpose of the Strategy is that it sets realistic aspirations and shows the way forward to achieving them. The Strategy is a means of matching the availability, function and role of parks and gardens with the changing requirements as identified by user surveys. The study focused on parks and gardens within the urban area including Cammo Estate. Under the parks classification system recommended in the Strategy Cammo Estate is classed as a Natural Heritage Park. Natural Heritage parks are described as follows:

*"These are generally large areas, the functions of which are determined by topography and ecology. In the main, these parks will tend to be dominated by woodland but also include coastal areas with topographical features such as hills and river valleys. The semi-natural character of these parks means that management for biodiversity is of fundamental importance, many of which are designated or proposed Local Nature Reserves, Urban Wildlife Sites or Sites of interest for Nature Conservation as defined in the Edinburgh Urban Nature Conservation Strategy and Local Plans. Therefore these areas are well suited to informal environmental education. Access is likely to be via car hence they will generally include designated car parking areas within their boundaries".*

## Format of the Report & its limitations

- 1.10 This project has been developed as three interlinking reports addressing the Conservation Statement; Activity Plan and Management Plan requirements, and providing a Masterplan which reflects all the key proposals for the Estate.
- 1.11 **Limitations:** the above reports have been developed in 'Outline' as required to support a Round One application to the Heritage Lottery Fund. It is consequently proposed that additional information will be acquired during the next 'Development' stage and that detailed design development will be undertaken in conjunction with further consultations and public engagement. In addition to this report, there exists a significant body of relevant baseline information compiled within previous studies, survey reports, papers by special interest groups and by individuals. There also exists significant and important archive information within the public domain (e.g. Scottish Record Office and National Library of Scotland).

## 2 Understanding the Heritage: History of Cammo Estate

### Outline of Early History

- 2.1 The oldest feature at Cammo is the Standing Stone, which sits at the top of East Avenue, near Cammo House. It is said to be Neolithic or early Bronze Age but its authenticity, particularly in relation to its position, is unknown.
- 2.2 Lands at Cammo belonged to Inchcolm Abbey until c.1400 when Robert de Cardney, Bishop of Dunkeld, acquired it. It passed through a series of owners until it passed into the hands of the Menzies family. John Menzies of Coullterallers, Lanarkshire, either built or remodelled Cammo House in 1693. In 1710 John Menzies, due to financial trouble, had to sell Cammo.

### John Clerk Period (1710-1724)

- 2.3 The 1710 sale was important, as the estate came into the hands of John Clerk. Clerk was to become the 2<sup>nd</sup> Baronet of Penicuik, he was a member of the last Scottish Parliament of the time, and of the first of Great Britain, he was also commissioner for the Union in 1706-7 and Baron of the Court of Exchequer. Importantly for Cammo however, he was also one of the great agricultural improvers of the time, writer of *The Country Seat*, and as an amateur architect worked with William Adam at Mavisbank. Clerk would go on to oversee the construction of the house and designed landscape at Penicuik.
- 2.4 When the estate was sold to Clerk in 1710, he noted that it had only '*a few firs on the east side of the house.*' Clerk was to lay down a legacy that we still see evident in the structure of the landscape today - the division by avenues and fields and blocks (albeit no longer formal) of woodland planting. He worked intensively on the landscape during his ownership including; levelling the courtyard in front of the house and building up the dyke of Maudsley (the wooded knoll adjacent to Cammo Tower). In 1712 he built a stable (not the current one), planted hedges, several thousand trees, an orchard to the west of the house and the created the Portugal Garden.
- 2.5 Generally, the original Clerk landscape (Figs 2-1 and 2-7) was laid out between 1710-1724 in a regular manner, with straight lines created by double avenues of trees, field boundaries and formal gardens to the rear of the house. The area of the Larch Meadow was previously separated into two separate areas by a line of trees. The South Vista was framed by a double avenue of oaks and had a further double line of trees on either side to the west and east. (Historically there has never been a road along the South Vista, but over time a path to the west has become used as a formal path and has at some point been covered with asphalt, this has been labelled 'South Avenue' for the purposes of this report.)
- 2.6 Tree planting was limited to formal arrangements including avenues, roundels and groves. The main species planted were oak, ash, elm, lime, alder, sycamore, yew, holly and hawthorn. The East Avenue consisted mainly of ash and the South Vista of lime.
- 2.7 Originally, within the Clerk landscape, parkland trees were absent and the plantations were confined within regular shapes, defined by paths. The plantations were placed at either side of the house, along the perimeter beside the drain to the west, a grove of trees in what is now the Larch Tree Meadow and in roundels across the estate.

- 2.8 Following his father's death in 1722, John Clerk prepared to sell Cammo, preferring to take up his residence at Penicuik.
- 2.9 He wrote the outline of the advertisement, stating the area of the estate to be 124 acres, 121 in grass and arable. The house contained 20 rooms with fires, 2 lofts, 2 pantries, 2 cellars, a larder, a milk-house and several closets, a brewhouse, 2 stables, a byre, a workhouse, a wash-house and several out-houses for labouring the ground.
- 2.10 "In the inclosures are above 20,000 trees disposed in regular planting, besides hedges of thorns, elms and hoops (i.e. willows).
- 2.11 In the garden and orchard are several good walks and divisions with the following sorts of fruits in standards and dwarfs:
- 44 kinds of pears      34 kinds of apples
  - 14 kinds of cherries   13 kinds of plums
  - 2 sorts of peaches    2 apricocks
  - 4 kinds of nuts        3 kinds of gooseberries
  - 2 of currants           medlars, vines, almonds
  - quinces, black & red 3 kinds of celery
  - 2 fish ponds        and      a summerhouse
- There is a nursery of fruit trees, hollies, yews, limes, planes, ashes . . . and there belongs in the lands a vote in the Shires and a seat in Crammond Church with a burial place."

## John Hog Period (1724-1741)

- 2.12 Sir John sold Cammo in 1724 to John Hog, who was related to Clerk. During the ownership of Hog (1724-1741) little seems to have changed in terms of tree planting or the landscape framework, although the tree dating indicates that possibly some replacement tree planting for the avenues and tree limes was undertaken.
- 2.13 The main change to the estate during this period is that the canal (Figs 2-3 and 2-8) seems to have appeared during this time. The canal first appears on the 1805 survey of the estate, although when it was constructed, and whom it was designed by is debated.
- 2.14 Due to financial troubles Hog had to sell the estate in 1741.

## Watson Period (1741-1873)

- 2.15 James Watson, who had married Lady Helen Hope, daughter of Charles 1st Earl of Hopetoun in 1737, bought the estate and renamed it New Saughton.
- 2.16 While the estate was in the hands of James Watson and his 'Watson' successors between 1741 and 1873, the Estate underwent significant changes. Notably the formal planting arrangements of the early 18<sup>th</sup> century were gradually replaced by more informal plantings including parkland trees, perimeter belts and copses. Species remained largely native as listed above under Clerk. Numerous veteran trees remain from this period, and some remnants of the early avenue plantings still exist amongst the later woodland plantings.
- 2.17 The South Vista was thinned, the house was surrounded by open parkland scattered with parkland trees and enclosed by perimeter belts and formal gardens were removed. Although the landscape changed, the main elements of Clerk's design; field lines, boundary plantations, as well as the main vistas and avenues, were all incorporated into the parkland.

- 2.18 It could be that this remodelling of the landscape was in line with the developing tastes for more 'natural' landscapes. On buying the estate James Watson sold many of the trees for timber and this could be another reason for the transformation of the landscape from formal to informal. Indeed this is in evidence by the thinning of the South Vista and as indicated on the plans, the less formal layout of the East Avenue (Fig 2-9).
- 2.19 Tree dating suggests that replanting as well as thinning took place in the plantations around the house, which led to larger blocks of planting. This included beech for the first time.
- 2.20 At some point during the nineteenth century the rest of the perimeters were planted and plantations to the house and garden were consolidated into well-defined blocks. The oldest trees in the perimeter strips, inner plantations and large limes across the estate date from the early to mid-nineteenth century. Gradually over the course of the nineteenth century blocks of planting filled in the plantations creating a seemingly continuous cover of trees between the stables, Walled Garden and south-western part of the canal. Large scale replanting was carried out in most of the plantations towards the end of the century, as the majority of the full grown trees on the estate were nearing 100 years old.
- 2.21 The Watsons made many other contributions to the estate. Charles Watson is notably responsible for; the bridge and piers at the East Avenue entrance, the Walled Garden, Cammo Lodge and gate, the water tower, the stable block and even the remodelling of Cammo House itself.
- 2.22 In 1824, old Leny Road (Cammo Road) was realigned, to the north of the estate instead of running through the northernmost fields. A trace of this road remains as a track that runs straight to what was Cammo Home Farm. As a consequence of the realignment the estate was no longer separated by a road, but it meant that the designed landscape was separated from the River Almond and the left over patch of land has subsequently been developed for housing.
- 2.23 Over the years ownership changed hands in quick succession due to inheritance within the family. Three years after Helen Watson inherited in 1841, she married the 20<sup>th</sup> Earl of Morton. This brought new finance to the estate, of which the Pinetum is the remaining exemplar.

## Maitland-Tennant Period (1893-1975)

- 2.24 After a series of subsequent short owners, the estate came into the hands of Mrs Louisa Maitland-Tennant, and after her death in 1955 her son Percival Maitland-Tennant. Due to personal reasons, a policy of wilful neglect was instituted. As a result, unmanaged trees grew together, forming dense canopies of cover.
- 2.25 In the Pinetum the rose gardens and formal flower gardens were lost, instead becoming overgrown with dense briar and ivy. The views from the Pinetum to the canal became obstructed by the scrub, regenerating species of broadleaf and mature unmanaged specimen planting.
- 2.26 The northern and eastern policies were leased to the Crammond Brig Golf Club from 1910 to 1929. The mock-Tudor golf clubhouse was built in 1910 to a design by Bailey S. Murphy and D.M. Kinross. The lease expired in 1929, when the club moved to Dalmahoy. The former club buildings were empty until 1939 when they were occupied by the Army. Mr Neil Little moved in as a farming tenant in 1952, with 40 dairy cows. The former golf clubhouse buildings were converted to agricultural use and remained so until the end of the 20<sup>th</sup> century.

## 1975-Current

- 2.27 Following Percival's death in 1975 the estate was bequeathed to the National Trust for Scotland.
- 2.28 In order to realise an acceptable cash value for NTS to accept the bequest, the house contents were auctioned in 1977, together with several derelict motor cars. This realised a bequest of £189,000 which was used to establish the 'Edinburgh Fund', the interest of which is used to assist

in the management of Cammo and other Trust properties in Edinburgh. Consequently Cammo Estate was bequeathed to the National Trust for Scotland in 1978, and in 1979, the Estate was feued in perpetuity by the National Trust to the City of Edinburgh Council. This transfer of ownership was made subject to the terms of a legally binding "Conservation Agreement" between the National Trust for Scotland and the City. The current draft states:

- *This written agreement sets out conditions designed to ensure that the property remains forever as a public open space, nature reserve, farm & woodlands & shall be used for no other purpose without the written consent of the Trust.*

- 2.29 To help secure these ends, "The Cammo Estate Advisory Committee" was set up to advise on the planning, management and development of the Estate. Further details on the Advisory Committee are included in Chapter.
- 2.30 After Percival's death, Cammo House was abandoned resulting in its illegal occupation and abuse. This led to theft and vandalism and ultimately two fires rendered the House unsafe. Edinburgh Council declared the building dangerous and subject to demolition. Consequently the house was bulldozed in 1977, leaving only the lower walls and front door arch standing. Rubble from the demolitions was piled around the basement/ lower ground walls and covered with soil/ grass to form an embankment. This enables access to the elevated front door via timber steps built into the rubble embankment. The sundial was taken for safe keeping.
- 2.31 By 1979 the Estate was in a very poor condition having been neglected for more than fifty years. Initially significant conservation work was undertaken through the Youth Training Scheme administered by the Council. This tackled restoration work to paths, drains, fences, control of scrub vegetation and was responsible for the removal of Italian poplars, planted inappropriately c.1930 as an intended commercial crop.
- 2.32 In accordance with Percival Maitland-Tennant's will the farm tenancy at Cammo continued after Percival's death, with the maintenance of a small dairy herd until 1997 when the dairy enterprise folded. By this time the farm buildings (former golf clubhouse) were derelict and the tenant family, had moved into a caravan. Discontinuation of grazing led to the deterioration of the fields. Sheep were introduced for a short period to address the grazing problem, but conflicts with dog walkers led to the removal of grazing animals from the fields. This resulted in the continued deterioration in the grassland quality, which has recently been addressed by Friends group initiatives to introduce wildflower meadows.
- 2.33 At an early stage as a public park, the Cammo Advisory Committee recommended that the Estate should be run for the benefit of local people. This influenced its management and development as a site with a rural character, with relatively modest facilities for visitors.
- 2.34 Until 1992 facilities for the community and visitors to Cammo were very basic, and the emphasis was on walking/ dog-walking and countryside pursuits. At this time a small car park was introduced at the bottom of Oak Avenue in the south-east corner of the Estate. The first major development for Estate visitors was the restoration of the gate lodge in 1992 as a base for a ranger, for displays and class teaching. This restoration work was made possible by a generous contribution from Mr Douglas Mickel, of MacTaggart & Mickel Builders. The provision of the base allowed the Council to provide a site-based ranger service, and to enable effective liaison with the local community and Friends of Cammo. The Lodge serves an important function for education and participation in the heritage of Cammo, but is a small venue with limited facilities and space for increasing community / visitor demands.
- 2.35 In the twentieth century, plantations of lime and sycamore were planted to the west of the South Vista, which resulted in covering much of the open parkland between the house and walled garden (Fig 2-12). Other regeneration has contributed to denser tree cover; yews and conifers were planted to enclose the lawn to the south east of the house and at the western edge of the Pinetum. Trees, including lime, were planted along the east outer line of the South Vista, with more planting in the 1980s filling in the area to the present day fence line. Surviving eighteenth and early nineteenth century trees have been enclosed within the new woodland. Regeneration and recent planting has also blurred the outline of the plantations around the walled garden,

house and Pinetum. Planting in the 1980s has also consolidated the perimeter strips along East Avenue and South Drive, which had suffered due to grazing, disease and neglect.

- 2.36 In places the recent tree planting has obscured the historic tree planting patterns, and has restricted views and modified spatial patterns in the Estate to detrimental effect. In addition to tree planting there has also been self-seeded growth which in places is becoming invasive. The Estate retains numerous veteran trees, dating from the 18<sup>th</sup> and 19<sup>th</sup> centuries. However several of these have been lost over the last 50 years due to disease and sometimes felling for commercial purposes. Nevertheless numerous fine historic specimens remain within the lines of the avenues, and within the pinetum and the parklands.
- 2.37 Friends of Cammo have done much to conserve the Pinetum, replacing trees when they have either been felled as a result of a storm, or when reaching the end of their natural life. It is their aim that the Pinetum going forwards should be restricted to the conservation of exotic and endangered conifers.
- 2.38 In 2005, Friends of Cammo planted approximately 850 trees and hedgerow shrubs along the north-eastern perimeter towards the site of the old Beech Roundel.
- 2.39 With exception of the Lodge House, little has been done to conserve the other historic structures within the Estate and there is evidence of slow deterioration of the Walled Garden; Stables Block and adjacent Estate Offices/ Steading ruins. Some stabilisation work has been done to the walled garden walls and the well-built Stable Block remains solid despite being roofless.
- 2.40 In 2016 the northern part of the estate was designated a Local Nature Reserve and in early 2017 the Canal was subject to restoration through Friends of Cammo's successful bid for money to improve the canal. The work involved dredging the canal and removal or crown lifting of overhanging, encroaching and poorly formed trees within 5 metres of its banks.

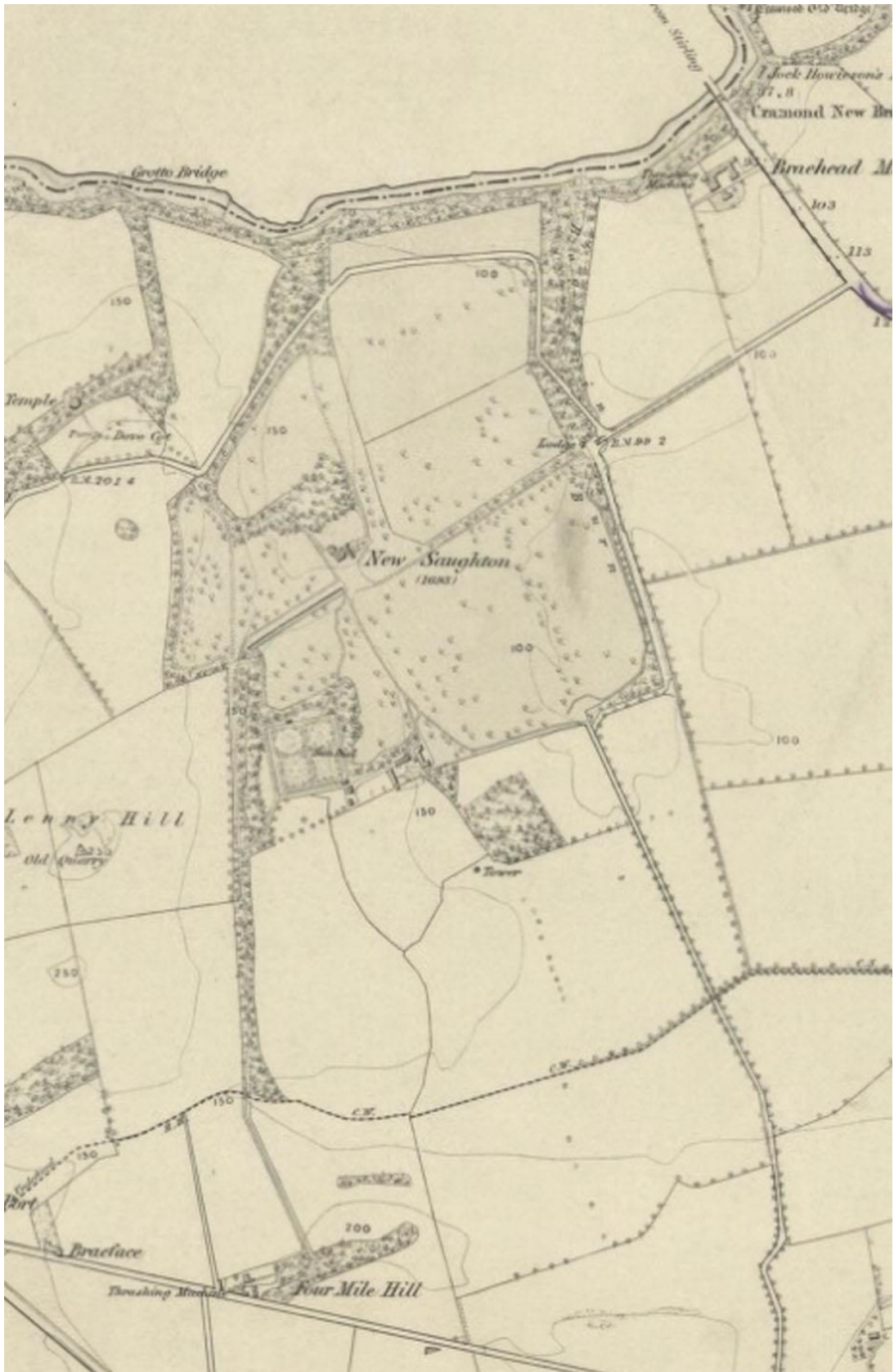


*Original John Clerk plan has been requested from National Records of Scotland/Sir Robert Clerk of Penicuik*

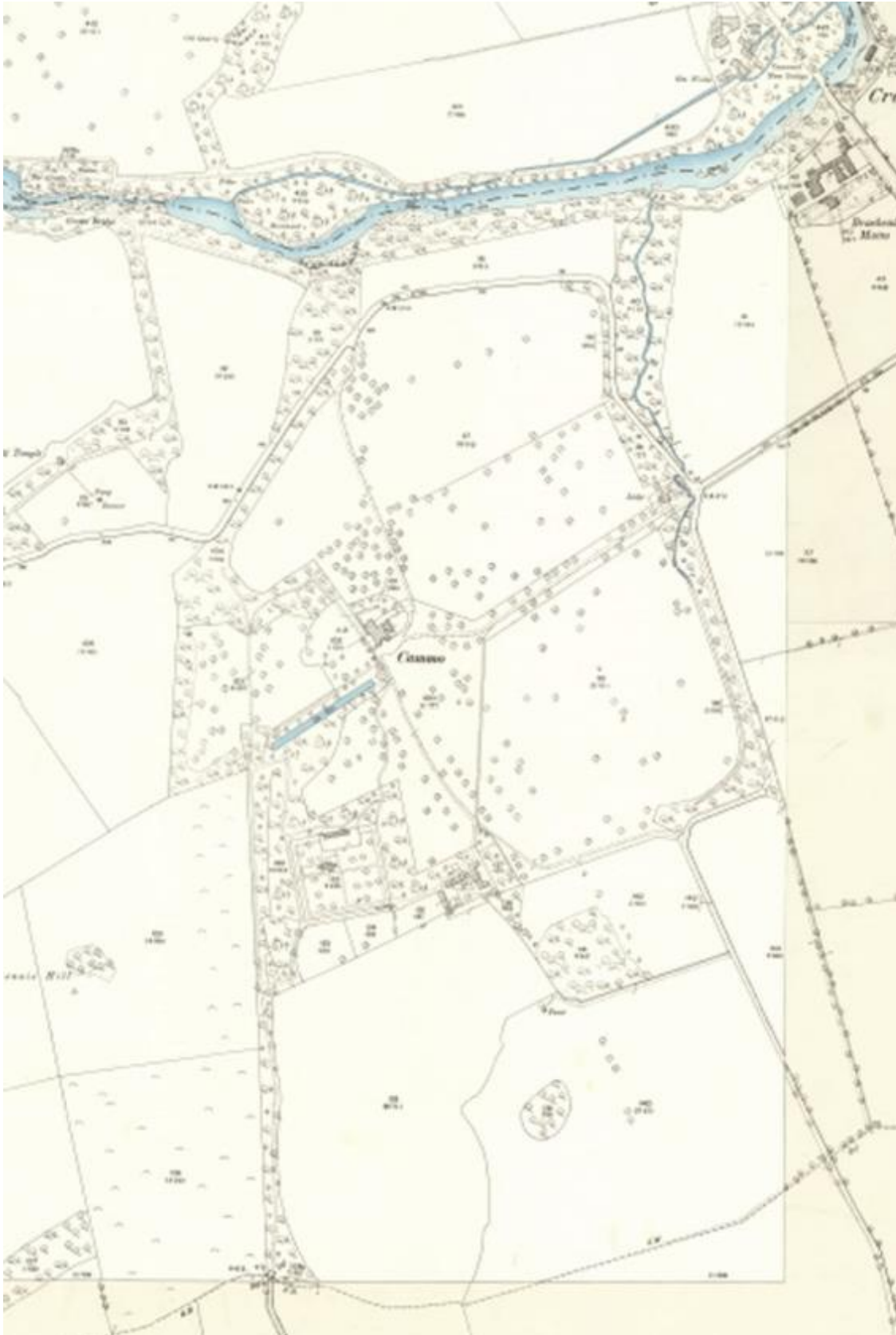
**Figure 2-1: Original John Clerk design 1722**



Figure 2-2: Historic Map, 1744



**Figure 2-3: Ordnance Survey, First Edition: 1853**



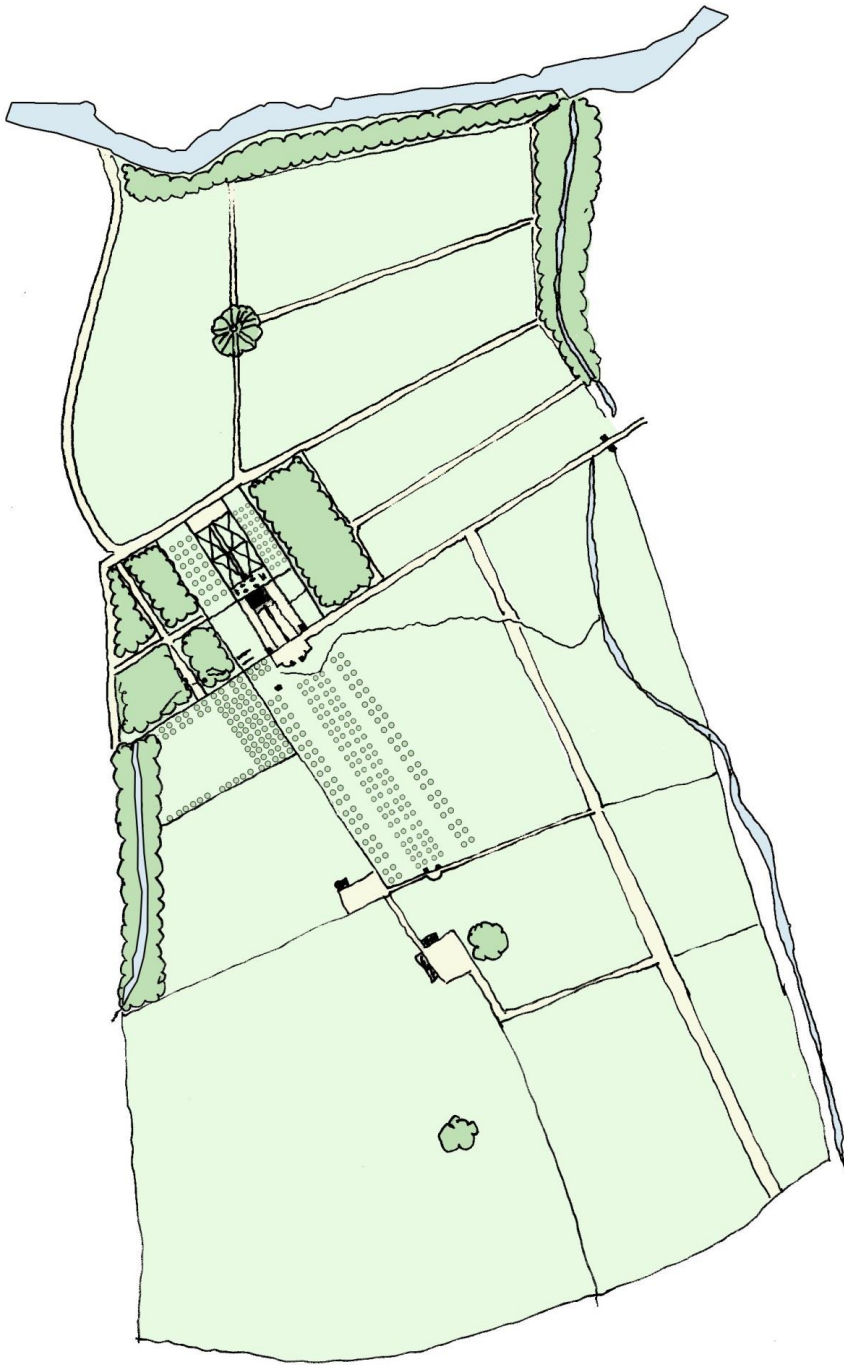
**Figure 2-4: Ordnance Survey, Second edition: 1905**



Figure 2-5: Ordnance Survey, 1912



**Figure 2-6: Bing Open Street Map, 2017**

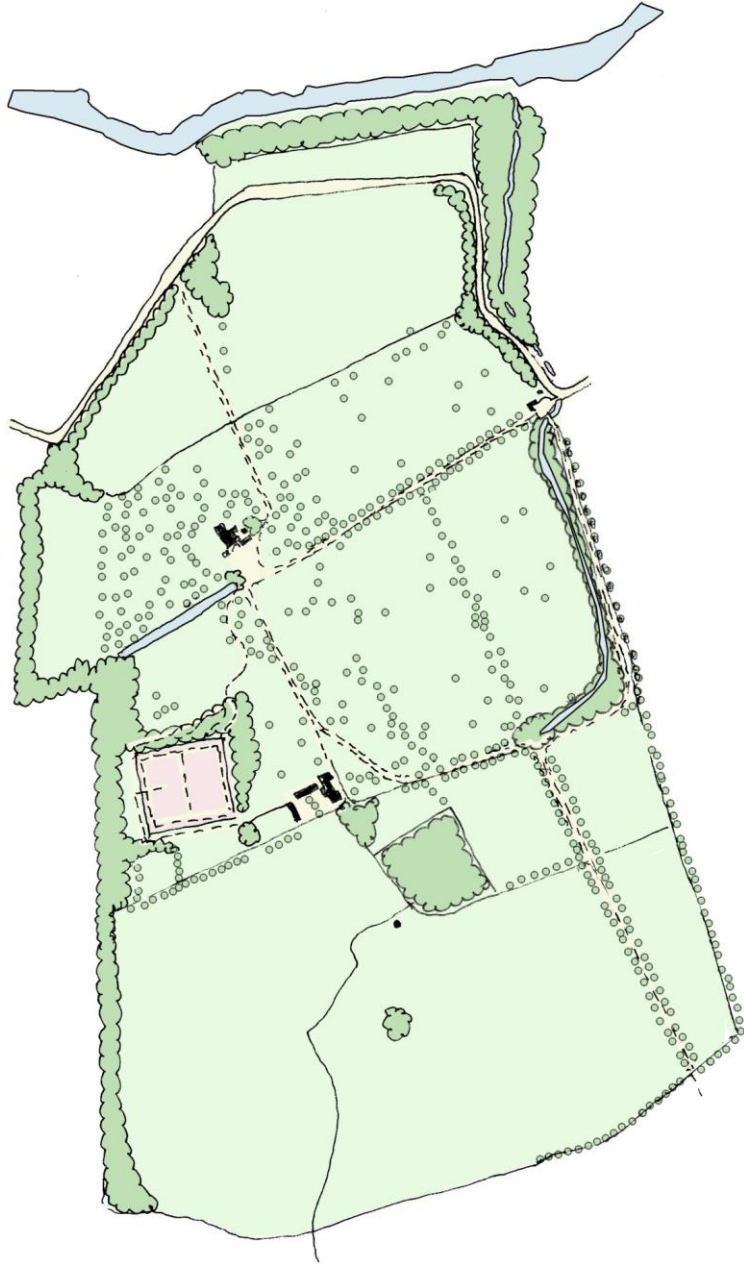


**Figure 2-7: Historical Development (Based on John Clerk's original plan), 1722**

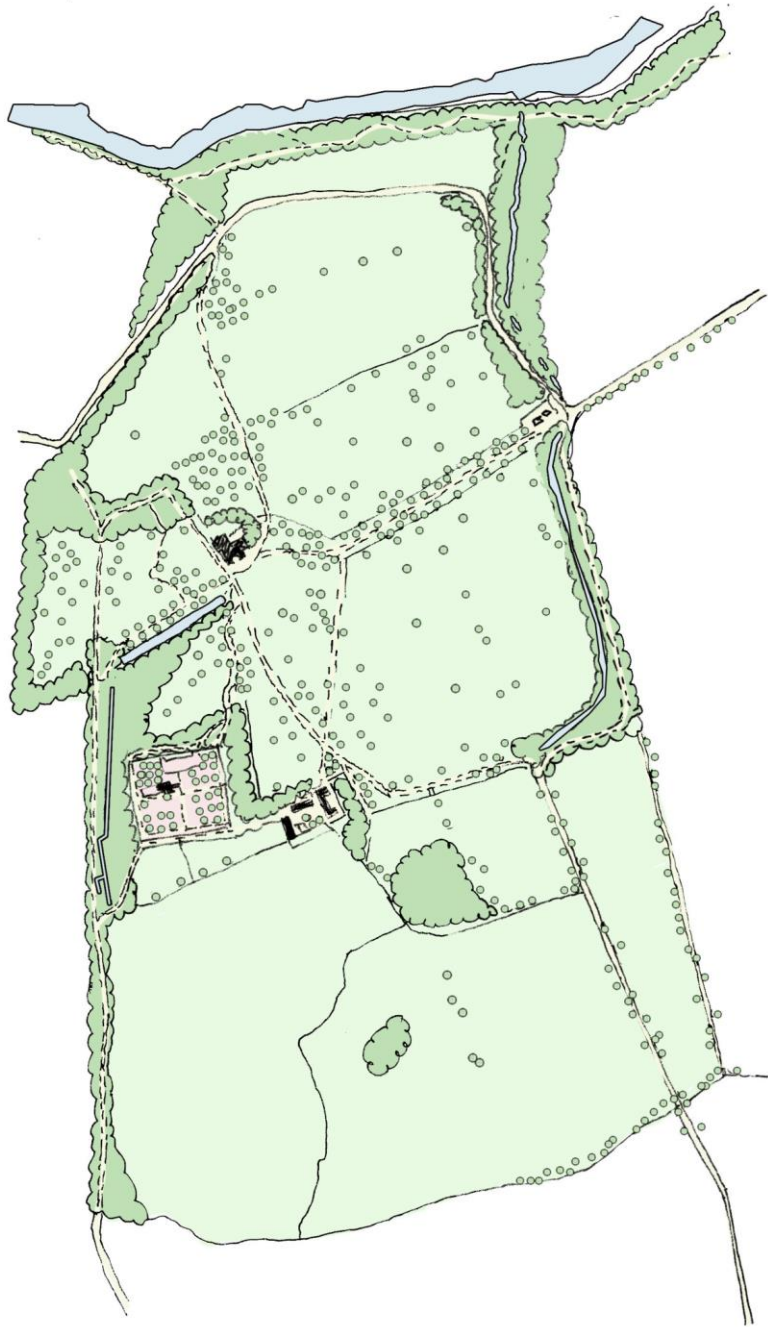


**Figure 2-8: Historical Development, 1805**





**Figure 2-9: Historical Development, 1824**



**Figure 2-10: Historical Development, 1893**



**Figure 2-11: Historical Development, 1912**



**Figure 2-12: Historical Development, 1999**



**Figure 2-13: Historical Development, 2017**



**Figure 2-14: Historical Analysis of main landscape elements and structures**

# 3 Understanding the Heritage: Description of the Heritage of Cammo

## Introduction

- 3.1 This chapter provides an overview of both the natural and built heritage of Cammo, with the aim of providing a thorough understanding of the site. The following components are explored:
- Geology
  - Topography
  - Hydrology
  - Landcover
  - Formal Tree Planting and Specimens
  - Woodland
  - Ecology
  - Buildings & Structures
  - Access network
  - Spatial patterns and views

## Geology

- 3.2 The underlying solid geology of the Cammo area is sedimentary rock laid down during the Carboniferous period and locally comprising calciferous sandstone. As with other parts of the Lothians, igneous intrusions have interrupted the sedimentary geology in the form of a sill close to the western boundary of the Cammo Estate. The main hills, ridges and mounds within the Estate of calciferous sandstone, and in these areas rock is close to the surface or outcropping. The majority of the site is however overlain with glacial till, and towards the eastern boundary, the till has been overlain with raised tidal flat deposits, laid down prior to isostatic adjustments of the land levels after glaciation.
- 3.3 The local soils are mainly classified as brown soils, which are generally well drained and fertile. At Mauseley Hill and along the eastern edge of the site, towards Bughtlin Burn and Cammo Walk, the soil is classified as mineral gleys, and as such is poorly drained with anaerobic conditions. The better soils support arable crops in the adjacent areas.

## Topography

- 3.4 The majority of the site has gentle topography, sloping towards the east. The western half of the Estate contains the highest ground, reaching 65m AOD in north-west corner, and 50m AOD at Mauseley Hill. The lower, flatter ground is separated from the higher areas by a sinuous line of steeper slopes. These are very evident within the landscape where path gradients steepen to 1 in 8 in places. The higher, western area forms a plateau on which most of the main architectural features were built (The Mansion House, the Walled Garden. The Canal and the Offices). This

provided an elevated and dry site from which to appreciate views over the lower ground and across to the Pentland Hills. Mauseley Hill to the south is a notable landmark in the middle distance, enhanced by the addition of a woodland roundel on its summit.

- 3.5 The strongest topography is in the north-west area of the site, where ground rises along the base of a ridge. In this part of the Estate, levels rise and drop steeply along the route of the peripheral drive. There is a considerable level change between the drive and the Pinetum, and the elevated route allows views over the High Meadow towards the House. The local changes in topography required the introduction of retaining walls along the estate Boundary. These are particularly significant along the northern boundary where they support the adjacent public road.
- 3.6 Conversely the eastern half of the estate has shallow gradients and areas of near flat ground adjacent to the Bughtlin Burn which are subject to occasional waterlogging. The lowest point of the estate is within the south-eastern area of parkland where the site is underlain with raised tidal flat deposits and the soil is poorly drained.
- 3.7 For the large part, features of the designed landscape have been placed on the pre-existing topography, but there are a number of significant interventions where ground levels have been altered, these include:
- The Canal : involving the excavation of a linear channel with cutting into the hill to the south and west to create the canal margins ;
  - Cammo House platform: involving localised excavations and levelling to create a platform for construction of the House and its subsequent wing additions;
  - The Pinetum Terrace: terrace and formally sloping feature adjacent to the Pinetum;
  - Estate Drives: most of the drives have been subject to earthworks to modify gradients and to create access terraces across the steeper slopes. The scale of alterations appears to vary from minor cut and fill to more significant cuttings through areas of strong topography, especially in the north-western part of the site.
  - Stable Block platform: it appears that localised cutting was undertaken to create a platform for the Stable Block. This has left an exposed rock face and the need for retaining walls.
  - The development of Cammo Road around the northern edge of the Estate involved both cut and fill to establish an even gradient, and the result is a sequence of retaining walls which support the road and then the road cutting.

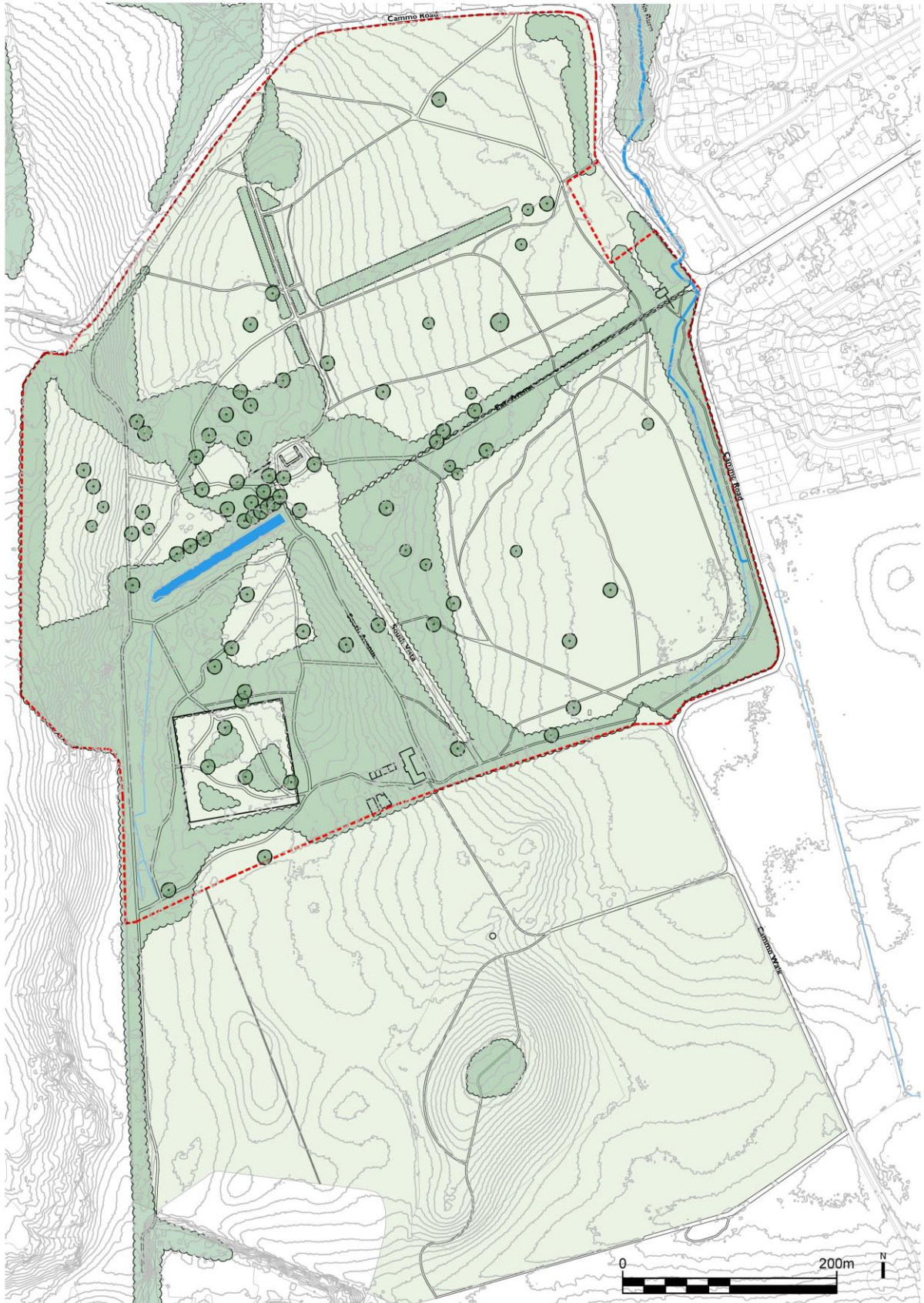
## Hydrology

- 3.8 The principal river in this area is the River Almond, which is just outside the Estate, but which flows in an easterly direction, roughly parallel to the Estate's northern boundary. The River Almond runs in an incised valley and enters the Firth of Forth at Cramond. The site is bounded on the east by its tributary, the Bughtlin Burn. This is a modest watercourse which runs in a narrow channel inside the Estate's eastern boundary wall and fences. The Bughtlin Burn drains the low-lying ground to the south and south-east of the Estate and flows northwards towards the River Almond. The Burn crosses under Cammo Road at the Lodge Entrance, from where it follows a route through the housing. Historic plans show that the Bughtlin Burn's course used to run through the South Field and that it was realigned to follow its current course through the woodland belt on the Estate's eastern perimeter.
- 3.9 Cammo Estate has an ornamental canal, created in the late 1720's or early 1730's. This is fed by a stone lined underground channel which links it to the nearby marsh drain at its south-west end. The outfall of the canal runs via culvert under the South Field where it discharges within an oval enclosure in the north-east corner of South Field, before entering the nearby Bughtlin Burn. At this stage the precise alignment, depth, condition and construction of the culvert and any



associated drain pipes is not known, and this subject will require further investigation in the future.

- 3.10 Within the Estate there are numerous localised areas of waterlogging, where surface and ground water flows from slopes onto lower ground and onto footpaths, resulting in ponding and difficult ground conditions. Ground water from the higher ground currently discharges onto the South Avenue, and Oak Avenue, and runs into South Field where it creates extensive waterlogged areas in the lowest areas. There is evidently a need for further investigations to determine the cause/source of the surface water discharges e.g. damaged land drains or natural springs. Drainage measures will then be required to protect paths and to channel surface water so that it does not compromise open spaces or cause damage to established trees and woodlands.



**Figure 3-1: Hydrology and Topography**

## Landcover

- 3.11 The estate grounds total 38.74 hectares (excluding the area of Mauseley Hill and associated fields to the south) and are made up of mosaic pasture, amenity grass, woodland and small glades. The grassland areas are not grazed or used for agricultural purposes, but are open to public access. There is 'free and unlimited access' to the grounds and it is currently managed by the City of Edinburgh Countryside Ranger Service (FNH) as one of the city's Natural Heritage Parks.
- 3.12 Until recently, the north-eastern part of the estate, Cammo Home Farm, was used as agricultural pasture for cattle. The area is now grassland managed for amenity and wildlife interest. The former Home Farm is currently undergoing demolition, and its site will be re-developed for housing.

## Formal Tree Planting and Specimens

- 3.13 One of the most prominent heritage aspects of Cammo are the trees, both woodland and specimen species. The tree survey and historical maps show how the strategic planting has changed over time. As part of the Historic Landscape Survey and Management Plan (1999) a tree survey was undertaken to record the oldest specimens remaining at Cammo (Fig 3-2). This has been supplemented by a wider tree survey which involved the tagging, measuring and recording of tree details in 2017. These surveys confirm that oldest recorded trees date from the early 18<sup>th</sup> century and that many magnificent specimens remain from the 18<sup>th</sup> and 19<sup>th</sup> centuries. The main trees planted historically are listed below, along with a percentage of what makes up the remaining trees on site today:
- Ash (*Fraxinus excelsior*) 8.3%
  - Beech (*Fagus sylvatica*) 8.3%
  - Horse Chestnut (*Aesculus hippocastanum*) 3.3%
  - Larch (*Larix decidua*) 1.6%
  - Lime (*Tilia x*) 13.3%
  - Oak (*Quercus sp.*) 39.9%
  - Sweet Chestnut (*Castanea sativa*) 1.6%
  - Sycamore (*Acer pseudoplatanus*) 14.9%
  - Wych Elm (*Ulmus glabra*) 3.3%
  - Yew (*Taxus baccata*) 4.9%
- 3.14 The Pinetum is the Estate's most significant collection of exotic trees and of evergreens. The Pinetum contains the following specimens:
- Arolla Pine (*Pinus cembra*)
  - Atlas Cedar (*Cedrus atlantica*)
  - Chilean Plum Yew (*Prumnopitys andina*)
  - Deodar Cedar (*Cedrus deodara*)
  - Giant Redwood/ Wellingtonia (*Sequoiadendron giganteum*)
  - Hiba (*Thujopsis*)
  - Hinoki Cypress (*Chamaecyparis obtuse*)
  - Japanese Umbrella Pine (*Sciadopitys verticillata*)

- Monkey Puzzle (*Araucaria araucana*)
- Oriental Spruce (*Picea orientalis*)
- Serbian Spruce (*Picea omorika*)
- Sitka Spruce (*Picea sitchensis*)
- Spanish Fir (*Abies pinsapo*)
- Swamp Cypress (*Taxodium distichum*)
- Western Red Cedar (*Thuja plicata*)
- White Spruce (*Picea glauca*)
- Yew (*Taxus baccata*)
- Young Brewer's Weeping Spruce (*Picea breweriana*)

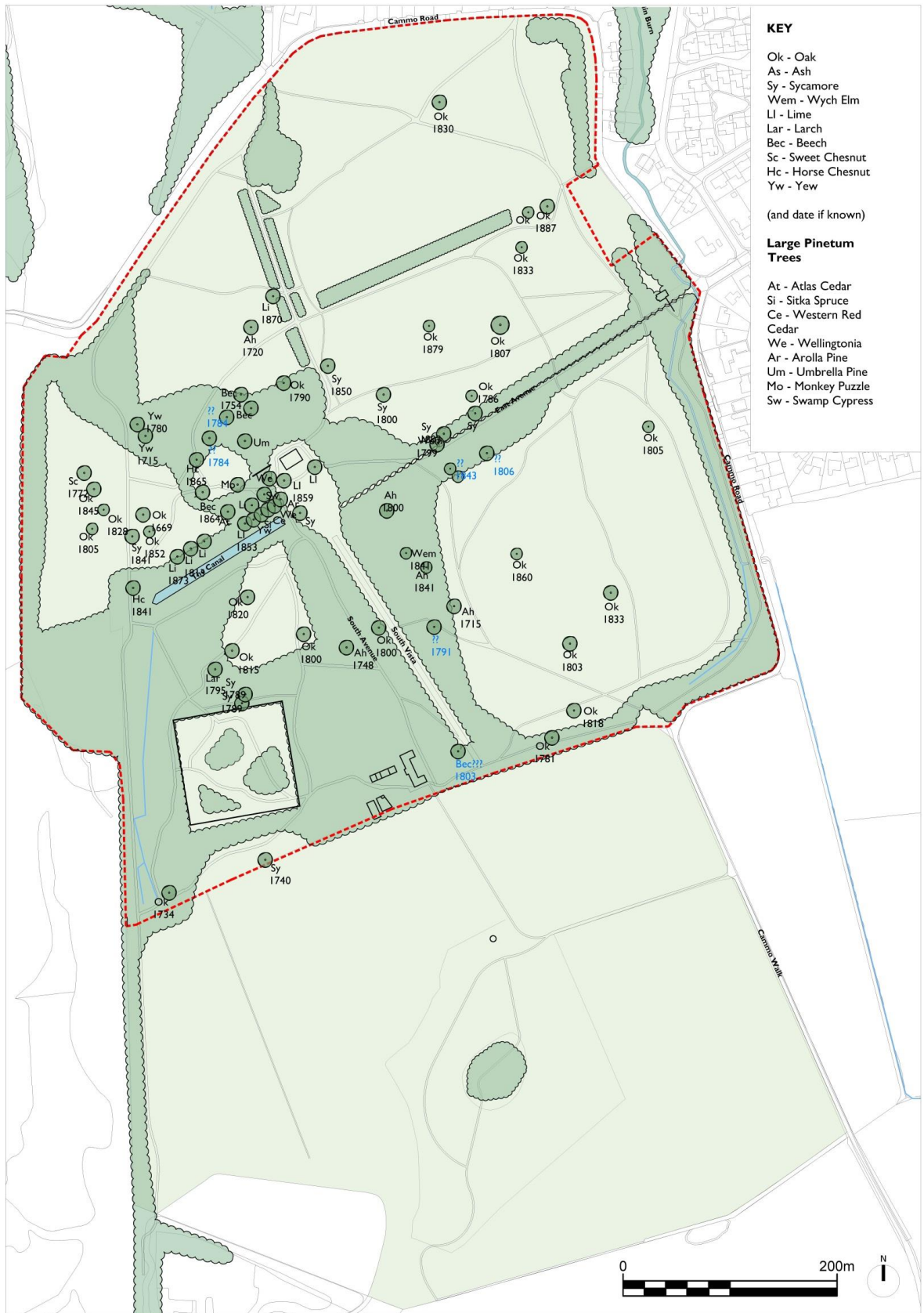
Broadleaf species included in the Pinetum area are:

- Copper Beech
- Lime

Lost Pinetum trees include:

- Weeping Norway Spruce (replaced with a Brewer's Weeping Spruce in 2012 by Friends of Cammo)
- White Spruce (replaced in 2012 by Friends of Cammo)
- An original Atlas Cedar (replaced in 2014 by Friends of Cammo)

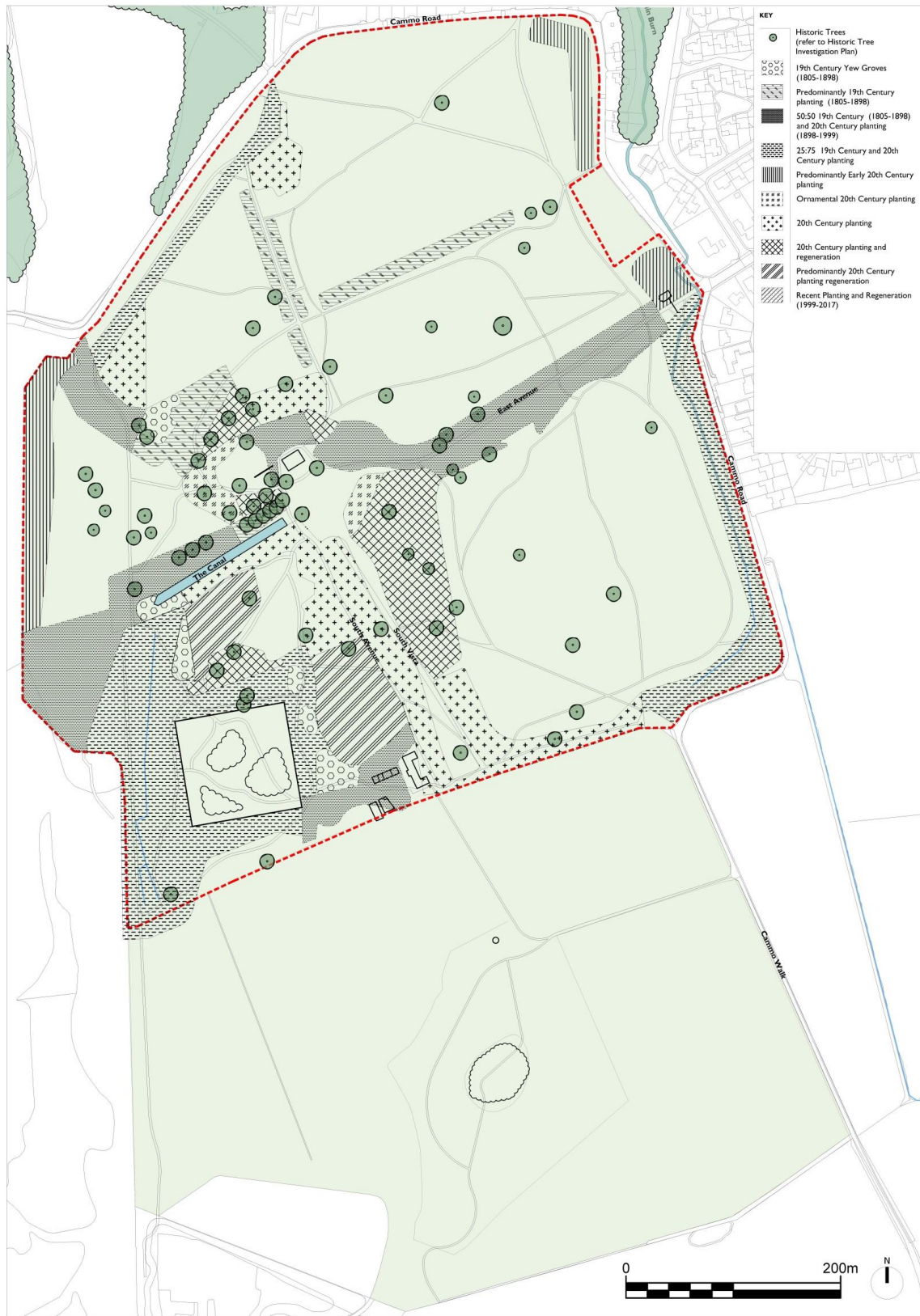
- 3.15 The Larch Tree Meadow is named after two veteran trees of European Larch, which are believed to have been planted during the 1790s. One of these collapsed in 2007 and the other is nearing the end of its life. The larches are of great interest as they are amongst the earliest planting of European Larch in Scotland, and due to habit are believed to be of the same origin as the famous 'Dunkeld Larches.' In order to pay respects to this heritage, the Forestry Commission donated 9 saplings of European Larch and these were planted in the meadow in April 2003. Three of these were moved in 2007 to the edge of the grassy area in front of Cammo House.



**Figure 3-2: Historic Tree Investigation**

## Woodland

- 3.16 The Ancient Woodland Inventory identifies the presence of 'Long Established' woodland at Cammo, which is principally mapped as a broad belt along the western boundary of the site. This connects in the north with 'Ancient Woodland' within the River Avon corridor. Cammo's woodlands have however been subject to significant changes through management since their establishment in the 18<sup>th</sup> century. This has resulted in the loss many early plantings from John Clerk's period, although there remain some veteran trees from the 18<sup>th</sup> century, recent tree surveys have determined that most of the oldest trees within the woodlands date from the early 19<sup>th</sup> century. Today approximately 23% of Cammo's tree cover dates from the 19<sup>th</sup> century (and some earlier), and the majority of woodland cover is twentieth century tree planting and regeneration (74% of tree cover). Additions in the twenty-first century contribute to tree cover in the northern area of the site (3% of tree cover).
- 3.17 The formal historic avenues (South Vista, East Avenue and the avenue leading towards the Beech Roundel) are now comprised of belts of nineteenth to twentieth century planting, self-seeded saplings and the remnants of veteran trees.
- 3.18 East Avenue comprises a mixture of nineteenth and twentieth century planting. There are numerous prominent veteran trees of large size which are remnants of earlier plantings. These include: Sycamore; Lime; Horse Chestnut and Oak, set within a mixed matrix of semi-mature and sapling trees. The latter includes ash, poplar, hazel, sycamore, oak, horse chestnut, birch and cherry.
- 3.19 South Avenue is comprised of ornamental twentieth century planting and twentieth century regeneration, dominated by Sycamore; Ash; Wych Elm and Beech.
- 3.20 The South Vista is framed by the ornamental planting from South Avenue on the west and more twentieth century regeneration and planting to the east.
- 3.21 The path leading towards North Gate and the Beech Roundel has been planted by Friends of Cammo in recent years and is now framed by dense scrub either side in order to help facilitate biodiversity on site by creating 'wildlife corridors.'
- 3.22 There is scope to improve the trees and woodland areas at Cammo through more positive woodland management, defining key areas where continuous woodland cover is appropriate and where views and areas could be opened up through light pruning, crown lifting and restoring original sight lines. There is an obvious opportunity to develop a more extensive tree collection (particularly in the Pinetum) and woodland understorey also holds potential for diversification.
- 3.23 Key woodland management issues within the site includes:
- Removing dead and dying trees
  - Remove potentially dangerous trees limbs such as deadwood overhanging paths
  - Crown clean and selective thinning of trees with evidence of deadwood or dieback
  - Remove epiphytic growth
  - Restock selected specimens where current trees are reaching the end of their natural life



**Figure 3-3: Tree Planting Periods**

## Ecology

- 3.24 The Cammo Estate Management Plan 2011-2020 (CEC) includes a Phase 1 Habitat Survey with target notes for the main areas/ habitats within the Estate. This survey was undertaken in 2010 but limited changes have been recorded since that time, and these relate mainly to the interventions of the Friends Group who have introduced some wildflower meadow areas and native hedgerows into the northern fields, plus conservation management in some of the woodland areas.
- 3.25 The Estate comprises 5 habitat types:
- Grasslands ( B2.2 and B6)
  - Woodlands ( A1.1.1; A1.1.2; A1.3.2 )
  - Tall Ruderals ( C3.1)
  - Amenity Grass ( J1.2) and
  - Water ( G1)
- 3.26 The areas adjoining Cammo Estate include arable farmland (J1.1) and amenity grass (J1.2- golf course) to the west, and Improved Grassland/ farmland (B4) to the south; to the south east is more arable farmland (J1.1).

### Grasslands and ruderal areas

- 3.27 Approximately 60% of the site area comprises semi-improved neutral grasslands (B2.2) within the fields and former parkland areas. Target notes for the North Field identified the presence of unmanaged swards dominated by False Oat-grass ( *Arrhenatherum elatius*) with Cock's Foot ( *Dactylis glomerata*), Common Bent ( *Agrostis capillaris*), Yorkshire Fog ( *Holcus lanatus*) and Common Sorrel ( *Rumex acetosa*). In addition to the above, the northern compartment of the North Fields also had Creeping Thistle ( *Cirsium avense*), Nettle ( *Urtica dioica*), Common Hogweed ( *Heracleum sphodylium*), Meadow Foxtail ( *Alopecurus pratensis*), Lesser Stitchwort ( *Stellaria graminea*).
- 3.28 Target notes for the South Field identified the presence of unmanaged swards dominated by False Oat-grass ( *Arrhenatherum elatius*) with Cock's Foot ( *Dactylis glomerata*), Common Bent ( *Agrostis capillaris*), Yorkshire Fog ( *Holcus lanatus*) and Common Sorrel ( *Rumex acetosa*).
- 3.29 Target notes for the High Meadow ( north western grassland ) identified the presence of rank and ruderal grasslands dominated by False Oat-grass( *Arrhenatherum elatius*) with locally dominant ), Nettle ( *Urtica dioica*), Cleavers ( *Galium aparine*), Great Willowherb ( *Epilobium hirsutum*), Meadow Foxtail ( *Alopecurus pratensis*), Common Hogweed ( *Heracleum sphodylium*), Creeping Thistle ( *Cirsium avense*), Creeping buttercup ( *Ranunculus repens*), and Cock's Foot ( *Dactylis glomerata*).
- 3.30 Target notes for South West Meadow (south of the Walled Garden) identified the presence of tall unmanaged grassland dominated by False Oat-grass( *Arrhenatherum elatius*) with Cock's Foot ( *Dactylis glomerata*), Rosebay willowherb ( *Chamerion angustifolium*), Tufted Hair grass ( *Deschampsia cespitosa*), Common Hogweed ( *Heracleum sphodylium*), Meadow Vetchling ( *Lathyrus pratense*), Nettle ( *Urtica dioica*), Creeping buttercup ( *Ranunculus repens*), Raspberry ( *Rubus idaeus*), Hedge bindweed ( *Calystegia sepium*), White clover ( *Trifolium repens*), Cleavers ( *Galium aparine*) and some Bush Vetch ( *Vicia sepium*).
- 3.31 There remain a number of veteran trees within the fields which are the legacy of early parkland and avenue plantings. These include Sessile Oak, Sycamore and Beech. These veteran trees provide valuable habitats for invertebrates, nesting and feeding birds.
- 3.32 Relatively small areas of amenity grass (mown regularly) are maintained adjacent to the ruin of Cammo House (and sometimes along the South Vista), and next to the Lodge House.



## Woodlands

- 3.33 As described above, the majority of the woodlands within the site are mixed and predominantly broadleaved plantations, some of which date from the early 19<sup>th</sup> century. Several areas are dominated by Sessile Oak (*Quercus petraea*) with Wych Elm (*Ulmus glabra*), Sycamore (*Acer pseudoplatanus*), Wild cherry (*Prunus avium*), Ash (*Fraxinus excelsior*). Other species are locally present including Horse Chestnut (*Aesculus hippocastanum*), Scots Pine, (*Pinus sylvestris*), European Lime (*Tilia x europea*), Yew (*Taxus baccata*), White willow (*Salix alba*), Hawthorn (*Crataegus monogyna*) and Birch (*Betula pendula*).
- 3.34 The Pinetum area contains a number of exotic specimen conifers and evergreens as described above.
- 3.35 The ground flora within the woodland varies somewhat across the site, but has extensive areas of Nettle (*Urtica dioica*), Cleavers (*Galium aparine*), Great Willowherb (*Epilobium hirsutum*) and ivy (*Hedera helix*). Other groundflora species present include: Creeping buttercup (*Ranunculus repens*), Wood avens (*Geum urbanum*), Ground elder (*Aeopodium podagraria*), and Cow parsley (*Anthriscus sylvestris*), Honeysuckle (*Lonicera periclymenum*). The Walled Garden and the adjacent woodlands also have notable and popular areas of Snowdrops (*Galanthus nivalis*).

## Water & Wetlands

- 3.36 The main area of standing water is within the Canal and this contains Broad-leaved pondweed (*Potamogeton natans*), Rigid Hornwort (*Ceratophyllum demersum*) and clumps of Bog Bean (*Menyanthes trifoliata*) and Yellow Flag (*Iris pseudocorus*).
- 3.37 In addition to the Canal, there are ditches and minor watercourses including the Bughtlin Burn which support wetland habitats of small scale.

## Fauna

- 3.38 Cammo Estate supports a variety of fauna, its landscape providing foraging and breeding habitats, notably:
- Badgers (two main setts)
  - Bats: pipistrelle and long eared bats, the latter with roosts in the stables, and possibly within other structures;
  - An abundant and diverse bird population including numbers of birds otherwise in decline such as song thrush, grey partridge, lapwing and skylark. The mixed habitats and extent of woodland cover is notable for its population of woodland birds including species which are scarce in the Lothians, including green woodpecker, great spotted woodpecker, garden warbler, blackcap and chiffchaff.

## Potential for Biodiversity Enhancements

- 3.39 While Cammo Estate is a valuable resource for wildlife, associated interpretation and enjoyment of the countryside, there is potential for enhancements. This potential largely relates to future management – to control invasive species and promote / create new habitats. There are also specific opportunities to create more extensive wetland habitats, and to enhance the diversity of grasslands and woodlands. Such opportunities should be realised without compromising the built and designed heritage of the landscape and be subject to careful consideration of heritage impacts for all new interventions.

## Buildings & Structures

- 3.40 There a number of built structures on site in varying conditions. The main buildings and structures consist of (Fig 3-4)

- Cammo House
- Pinetum Wall/Garden Terrace
- The Canal
- Stables
- Former Offices and Steadings
- Gate Lodge and Walls (Cammo Lodge Visitor Centre)
- The Walled Garden
- Water Tower

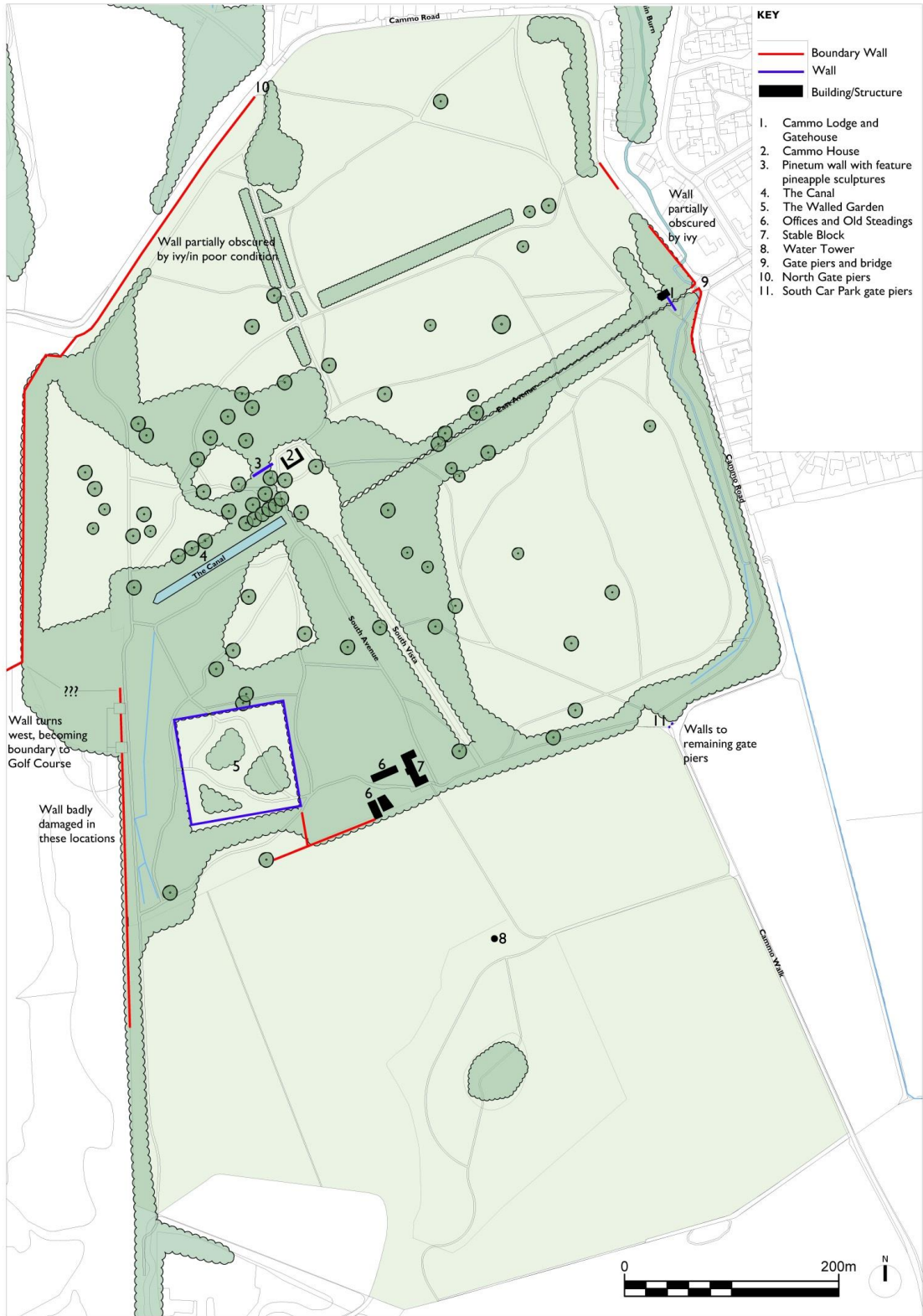
Cammo Home Farm is not included within the site boundary but the water tower has been included in this study for the purposes of considering the designed landscape as a whole.

### **Cammo House**

- 3.41 The original house was built for John Menzies in 1693 and is thought to be the inspiration for *House of Shaws* from Robert Louis Stevenson's 1886 novel *Kidnapped*. It was built in the manner of Robert Mylne, but may have been designed by the less well known Thomas Wilkie. The house was originally 2 storeys with a basement and an attic. The façade comprised of two gables, divided by a central roof platform with balustrade. Later, Charles Watson commissioned James Salisbury to add the staircase to the exterior façade of the house (1787-1791).
- 3.42 There are proposed design alterations for Cammo dedicated to Mr Hog (the second owner 1724-1741) in *Vitruvius Scoticus* (plate 141) and it is believed that they are by William Adam, who is also believed to have played a role in the canal. The proposals were not carried out; however a wing was added to the north-east elevation which seems to be a simpler version of Adam's designs.
- 3.43 In 1977 the house was twice torched by vandals and eventually became derelict. All that remains of the house are some of the walls and façade of the lower storey, including the pediment over the front door. Anecdotally rubble from the demolitions was piled around the base of the ruin, up to the height of the principal floor (main entrance level). This rubble was grassed over and now forms a pedestal for the remaining walls.

### *Cammo House Ruin Condition Statement*

- 3.44 The main original house has been consolidated and left as an accessible ruin as part of an earlier refurbishment, and appears to be in reasonable condition.



**Figure 3-4: Buildings and Structures**

There are a few missing stones and exposed areas of wall core, which will require some localised repointing or rebuilding will be required but the level of consolidation is relatively modest. Wall heads appeared to be in good condition even without full-width cope stones.

#### *Potential for Refurbishment*

- 3.45 The main house would need extensive works to rehabilitate in full or in part, with debris removal required within the footprint and at the front steps to allow footings for any new internal walls to be founded on suitable bearing material. Lower level walls would need to be checked for condition and integrity.

#### **Pinetum Wall/ Garden Terrace**

- 3.46 Immediately to the west of the Cammo House ruin is the remnant of a garden terrace defined by a masonry retaining wall and steps to a former platform. The wall retains a west facing grass slope, believed to be an area once used as an ornamental garden overlooked from the terrace at its eastern end. The retaining wall diminishes in height from c. 900mm to 150mm over a length of 20m . It is constructed of squared rubble masonry with a squared dressed stone cope. Ornamental stone pineapples are features along the top of the wall, although only one of the original three survive. The wall and steps are otherwise in good condition. This feature is now closely associated with the Pinetum which surrounds the open space and can be viewed from the terrace.

#### *Pinetum Wall Condition Statement*

- 3.47 The pinetum wall appeared to be in good condition and although there was a slight lean outwards at the steps end, there is no structural concern as to its adequacy as a small retaining wall.
- 3.48 The wall may require some repointing as part of general maintenance.

#### *Potential for refurbishment*

- 3.49 If a balustrade was required as part of refurbishment of the Pinetum wall, the detail of fixing the balustrade would need to be considered and probably separated from the main wall.

#### **The Canal**

- 3.50 The canal appeared during the ownership of Hog (1724-1741), although when it was constructed is unknown. The canal first appears on the 1805 survey of the estate; however it is believed to have been constructed earlier due to its formal layout. There is debate as to whether William Adam or John Clerk designed the canal. Adam is believed to have played a role in its design as it is similar to the one he designed at Newliston (nearby in West Lothian) although does not have the curved basin of Newliston. It also has similarities to the canal designed by Clerk at Mavisbank and may relate to a sketch done by him in 1714. Unlike Newliston and Mavisbank, the canal at Cammo could not be readily seen from the House and its alignment did not allow it to reflect the House (as at Mavisbank for example and as with the round pond at Hopetoun). This makes its design intent a little unclear, but suggests it was meant to be experienced as part of the landscape without reliance on the Mansion House.
- 3.51 The canal lays south-west of Cammo House and is 140 metres long. It is parallel, although offset with the line of the East Avenue, but currently has no terminating feature. There is however a paved platform at the north-eastern end of the canal, which may have supported a timber pavilion. The paved platform is of modern concrete slabs, but is framed by old masonry suggesting the former presence of a small building (c.3m x 6m long). Such a feature would have terminated the vista along the canal from the west, and would have allowed the canal to function as a reflecting pool. A pavilion in this location would also have been visible from the East Avenue on approach to the House. This would have created a visual connection to the opposite side of the South Drive/Vista.

- 3.52 The canal is an ancient scheduled monument. In September 2016 Historic Environment Scotland granted scheduled monument consent to City of Edinburgh Council to undertake improvements to the canal including silt/tree debris removal and clearance of selected poor conditioned and self-seeded trees within 5m of the canal.

#### *Canal Condition Statement*

- 3.53 The plinth at the end of the canal appears to be in reasonable condition, with paving relatively level. Stone walling adjacent to the canal appeared to be in reasonable condition above water level but would need to be repointed, and below the water line a full survey should be undertaken.
- 3.54 The upstand 'kerb' detail around the north, east and south perimeter does not appear to be original and the paving may be concrete with flagstone lines set into the surface – this would need to be tested further in due course.
- 3.55 A concrete headwall is present with steel grating at the west edge of the plinth, and appears to be an inlet for a surface water drain. When this was added is unclear and the actual workings of the drainage should be investigated further.

#### *Potential for refurbishment*

- 3.56 The canal plinth has potential to house a new building on top of the main plinth walls, but the extent and nature of the walls below ground and water levels will need to be investigated further.

#### **Stables**

- 3.57 The stables were originally designed by Robert Reid for Charles Watson (1811) in the classical style. The two-storey U-plan block has two pavilions at either end with segmental headed arches to their front and inner sides, and as these pavilions project forward, they frame the façade of the stable block. The block also has a central (largely blind) segmental arch entrance with an octagonal clock tower rising above.
- 3.58 All elevations except the rear are faced in a pale buff sandstone ashlar, which the Management Plan by Paul Hogarth calls 'an exquisite quality.' The building also has a base course around the entire structure, a string course between ground and first storeys on all elevations except the rear and a parapet all round. The rear of the elevation is also of sandstone but built in coursed, hammer-faced square blocks, with droved ashlar at the margins of openings.
- 3.59 The stables, although derelict and roofless, are perhaps in the best condition amongst the structures on the estate. The masonry is generally good, and the majority of the outline structure, including the clock tower, is still present.

#### *Stables Condition Statement*

- 3.60 Generally the walls are in good condition given the exposure of the building over time and the fact there are no extant roofs or wall coverings. Wall heads are in various degrees of degradation with some areas of partial collapse, but the wall masonry remaining is in remarkably good condition and is testament to the type of stone used and the craftsmanship in its construction.
- 3.61 Vegetation has taken root in the wall masonry in some localised areas and will need to be chased out of the wall fabric to secure a long-term consolidation of the masonry. Wall heads will need to be protected and the upper 500mm of masonry will probably need to be re-built due to mortar loss, vegetation growth and the loss of the wall core.
- 3.62 General repointing is not required due to the good condition of the extant masonry fabric, but some areas of internal walling will require more attention with repointing in a suitable matching lime mortar.

#### *South Wing*

- 3.63 The south wing has suffered from partial collapse at the upper floor between the two main windows on the south external façade. Buddleia and other vegetation has sprung from the wall

head throughout which will need to be chased out. Away from the collapsed sections, the original copes and eaves cornice is intact on the external face, and internal masonry appears to be in reasonable condition.

- 3.64 A lintel above the lower west-most window has slipped outwards and will need to be reset. This corresponds with a crack in the façade ashlar which could be stitched and infilled using stainless steel ties and mortar.
- 3.65 The east and north walls have large arched openings which are in good condition with only minor repointing works required to the soffit of the arches. The masonry is intact to upper eaves level cornice and appears to be in good condition. The timber lintels below each arch are in poor condition and will need to be replaced.

#### *East Façade*

- 3.66 The masonry walls are generally intact and in reasonable condition externally, with no loss of fabric at high level. Some openings have been bricked up whilst others appear to have been solid dummy windows from the time of construction. Cope stones at the eaves cornice appear to be intact, but vegetation growth will probably require some rebuilding of the wall head to remove root networks.
- 3.67 The octagonal turret above the central portion of the building is in good condition on the east side and should require relatively minor repairs.
- 3.68 The jambs of the central opening may require some localised indenting to formalise the masonry, as it appears to be damaged and irregular.

#### *North Wing*

- 3.69 The south and east wall of the north wing matches the condition of the south wing, with masonry intact and complete up to eaves cornice and some vegetation growth on the wall head. There is a missing cope stone on the east façade which will need to be replaced and the lintel below the main east archway will need to be replaced.
- 3.70 The north wall of the north wing has an interesting ironwork feature and the east corner at low level. At high level the wall is intact above the eaves level, with good quality masonry on display across the entire façade.
- 3.71 The east lower window is blocked up.
- 3.72 A partial collapse at high level between upper floor windows is evident on the north façade with associated vegetation growth at the exposed wall core.

#### *West Façade*

- 3.73 The west façade is in good condition but has vegetation growth along the wall head. The pronounced slope to the west of the façade is intact but the half-buried retaining wall in the ground appeared to be in poor condition and will require attention if the rear area of the building is to be kept safe for access.
- 3.74 There is some graffiti which will need to be treated if removed and some cope stones are missing around the central outshoot. The central arch is in good condition as are the jambs and lintels above window openings.

#### *Internal*

- 3.75 Generally internal walls are also in good condition suggesting there has been a previous consolidation scheme carried out on the building. Some degradation and open walling is present where walls have been reduced in height and have left a rough interface at wall junctions.

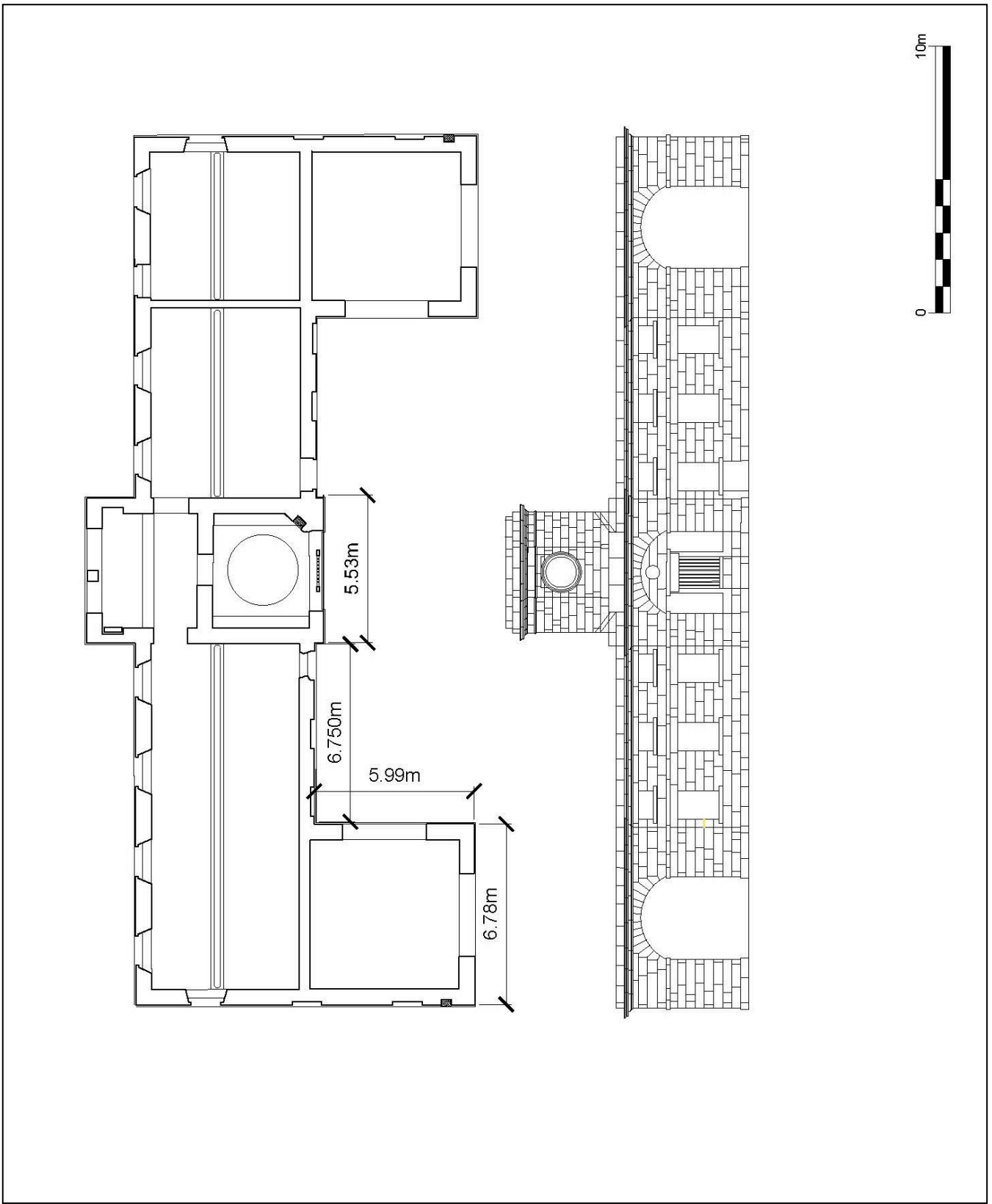
- 3.76 All timberwork has been removed and precast concrete lintels have been installed to replace timber safe lintels. Gaps along the lines of timber runners within walls have been left exposed with a notch in the wall surface, and joist pockets are empty but appeared clean.
- 3.77 The inner face of the south end of the east façade wall is in slightly poorer condition with infill bricks and stone acting as window infills appearing tired and poorly tied in to surrounding masonry. An arched stone lintel over an original door is in poor condition and should be replaced with a precast concrete lintel or be properly consolidated.
- 3.78 There appears to be a timber lintel over the opening into the octagonal tower section with open-jointed masonry above, which should be replaced with precast concrete after consolidation of the stonework.
- 3.79 The internal cylinder creating the inner face of the tower is in good condition generally with some vegetation clearance and repointing works required. The opening in the east façade is in poor condition and has seen the internal masonry face collapse locally, which matches the ragged appearance of the jambs as mentioned above. Previous stair sockets are exposed and could be re-used in any future refurbishment.
- 3.80 The inner face of the north end of the east façade wall is in slightly poorer condition with infill bricks and stone acting as window infills appearing tired and poorly tied in to surrounding masonry.
- 3.81 Inner faces of walls around upper level partial collapses are in poorer condition due to exposure to weathering and vegetation growth, and will need more repointing, resetting and indenting.

#### *Externals*

- 3.82 There is evidence of original stone flags and setts in the east courtyard and internally, with stone drainage channels evident. The external finishes would need to be investigated further following localised clearance of debris but could be restored as part of a refurbishment.

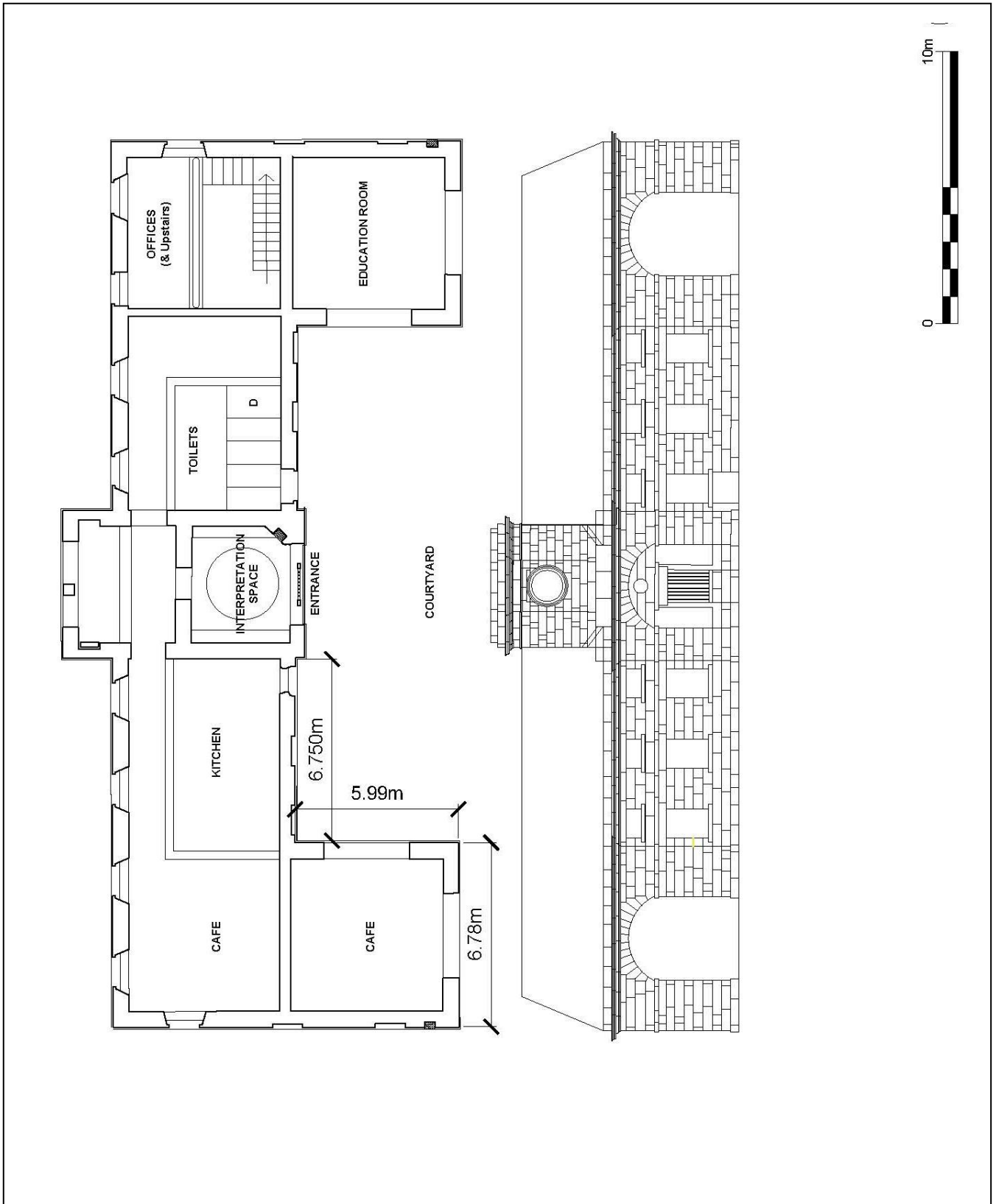
#### *Potential for Refurbishment*

- 3.83 The stable block would be relatively easy to refurbish and bring back in to use, with a variety of uses capable of being supported using the existing structural shell. Some modification will be required to internal walls to allow the formation of suitable spaces, but this could involve minimal alterations. The ground floor area of the stables is c.295m<sup>2</sup> and it has the capacity for refurbishment as a two storey building. The second plan below (Fig 3-6) indicates in outline how the Stables building could be converted to provide visitor and education facilities and office accommodation for CEC FNHS. New uses would potentially include:
- Ground floor café; toilets and exhibition space
  - Ground floor interpretation spaces;
  - Ground floor education/ community/ meeting room(s)
  - Upstairs offices for CEC FNHS, and possibly other appropriate users.
  - Outside seating/ eating within the courtyard areas
- 3.84 Repairs to the masonry will be light-touch and the walls as existing would be able to carry new floors for almost any use. New timber roofs and floors, along with timber lining wall panels to create insulated external walls would be suitable and allow the refurbishment to meet current Building Standards.
- 3.85 Services to and from the building would need to be investigated further as part of any refurbishment, with drainage expected to run to soakaways or new SUDs features in the fields to the east, and foul water treatment provided by either new treatment tanks prior to discharge to soakaways or watercourse to the east, or to Scottish Water sewers over the burn to the east.

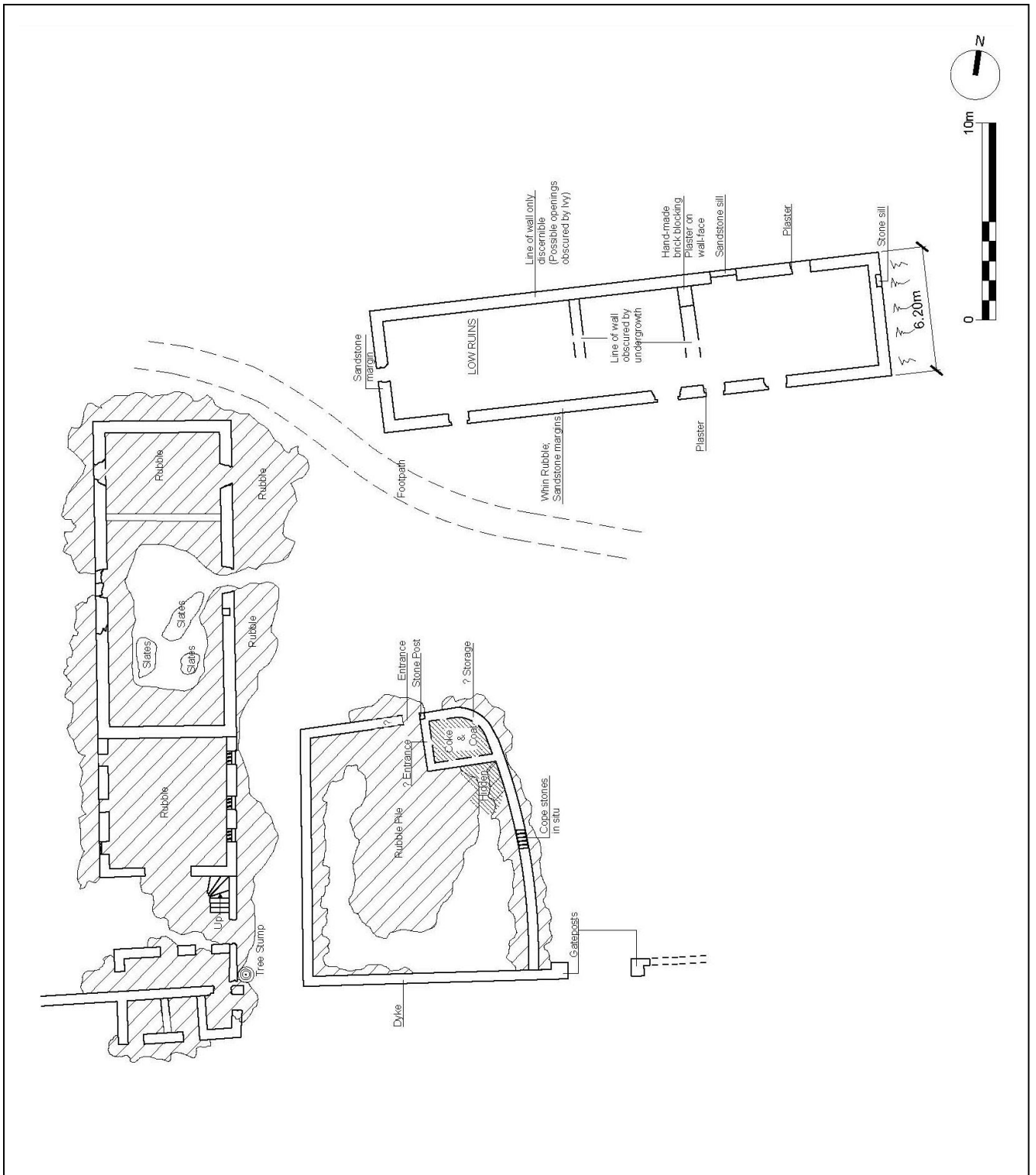


**Figure 3-5: Stable Block Current Layout and Elevation** (Source: Paul Hogarth)

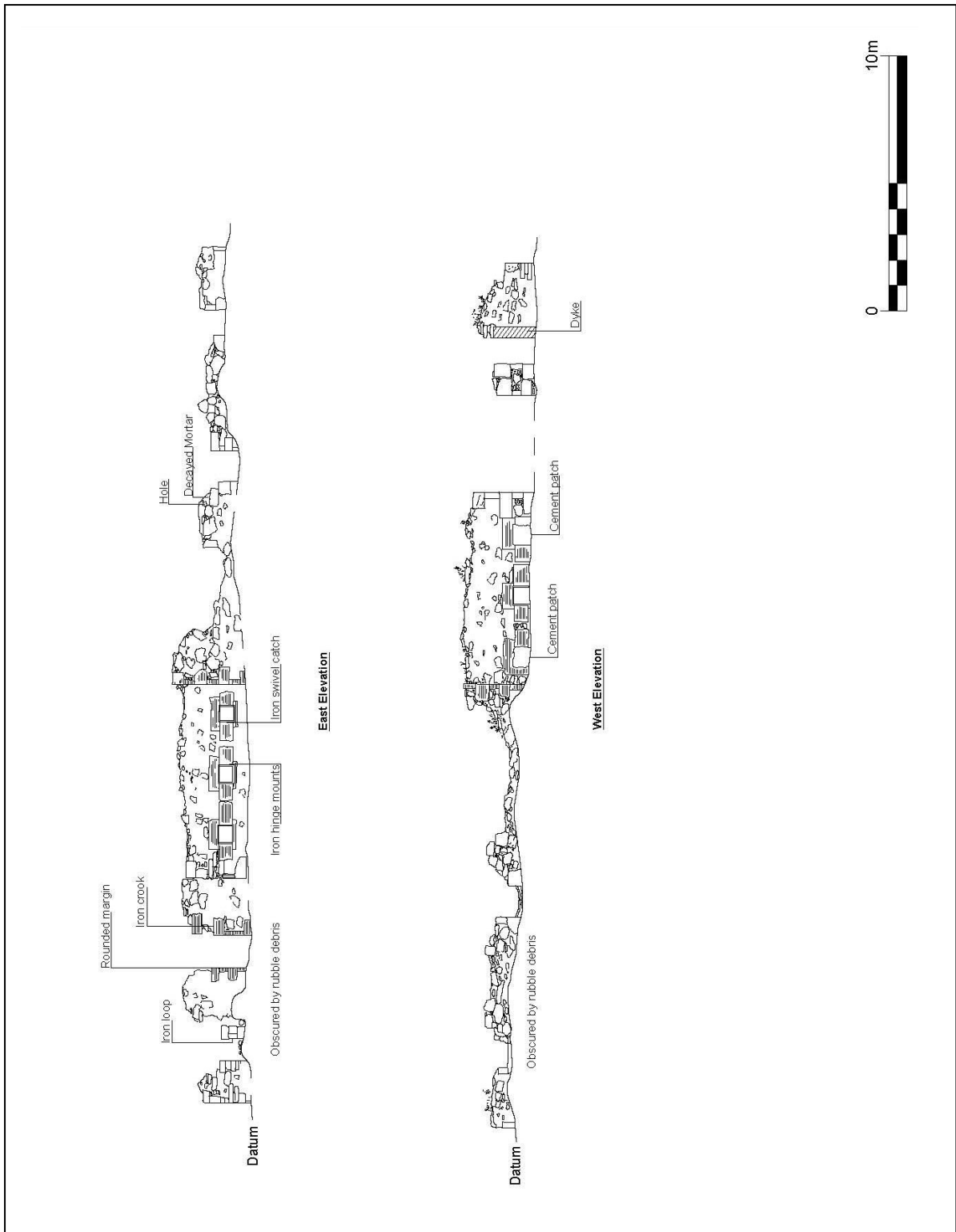




**Figure 3-6: Indicative proposed layout for Stable Block redevelopment**



**Figure 3-7: Former Offices and Steadings Plan** (Source: Paul Hogarth)



**Figure 3-8: Former Offices and Steadings Elevations** (Source: Paul Hogarth)

### **Offices and Steadings**

- 3.86 These buildings show on earlier plans than the stable block built by Charles Watson and may have been previously used as stables themselves, being used for other uses (such as holding livestock) after the new stables were built.
- 3.87 The Former Offices and Steadings are in very poor condition and completely derelict. Walls of the offices look to be made of whin rubble with sandstone margins but in some areas have been patched by cement at some stage. Much of the buildings have collapsed leaving piles of rubble and sections of standing walls. Little remains standing of the building to the north, and its ruins are completely obscured by ivy. More remains of the buildings to the south, but again, most of it has collapsed and openings are obscured by vegetation and debris.

#### *Office and Steadings condition statement*

- 3.88 These previous structures are now derelict and in a very poor state of repair, with only vestiges of the original masonry wall structures remaining.
- 3.89 Most walls have partially collapsed and debris is piled around any extant masonry that remains. Heavy vegetation growth is endemic throughout the wider footprint of each building and along/within the wall fabric.
- 3.90 The building to the south-east (shown as The Piggery on previous plans) is almost non-existent, as is the office building to the north. Both of these structures are beyond normal repair and would be more suited to an archaeological study. The standing walls of the 'piggery' are higher than the other ruins and as such represent potential health & safety risks to visitors, and especially small children who might clamber on the ruins. The proximity of these structures to the main access routes therefore determines that measures should be taken to stabilise and retain the walls in a sound and safe condition.
- 3.91 The walls around the south-west building which includes the offshoot through the main boundary wall is in slightly better condition, with at least recognisable wall structures and lintelled openings in the east wall.

#### *Potential for Refurbishment*

- 3.92 This structure could be refurbished but there would be a need for heavy wall consolidation on all existing walls, with partial rebuild, core gravity grouting or deep root removal required throughout.

### **Gate Lodge and Walls (Cammo Lodge Visitor Centre)**

- 3.93 The Gate Lodge was commissioned by Charles Watson and it was built in 1789 to frame the East Avenue, which had become the main approach to Cammo House. The external walls on the north and east are of rubble stone construction, whilst those on the others are coursed in sandstone blocks.
- 3.94 The lodge was restored in 1992 and is now used as a visitor centre and base for the Ranger Service. It also contains toilets which are accessible to visitors. .
- 3.95 The bridge over Bughtlin Burn is also part of these alterations by Charles Watson, although it was constructed twenty-seven years earlier in 1762. There are two quadrant walls adjoining the bridge on the west bank. The two stone ball finials which sat upon the stone piers at the inner end of the bridge are now lost.

#### *Gate Lodge and Walls Condition Statement*

- 3.96 This external fabric of this building appears to be in good condition and is in constant use as a park ranger station. The main entrance gate walls adjacent to the lodge also appear to be in good condition and do not require repair works at this time.
- 3.97 The bridge to the east of the Gate Lodge also appeared to be in reasonable condition, with intact arch voussoirs and parapet walls. There did not appear to be any undue movement in the

structure and although the main vault below the bridge was not inspected, there should be little repair works required except some repointing.

#### *Potential for Refurbishment and enhancement*

- 3.98 This Gate Lodge is in good condition and although small in size, has potential for enhancement as a modest visitor facility. It currently provides interpretation for the Estate, but this could be much enhanced. It also has the potential to serve as a small tea-room/ café along the lines of other Council park properties leased to commercial operators. The internal capacity is limited but there is scope to have outdoor seating spaces during dry periods. The lodge building might also be extended to the north subject to a sensitive architectural proposal. Such an option might provide the additional space required to accommodate an activity programme in the Estate, and to be a focus for education and volunteering. Such an option would need to be considered against the other visitor facility development opportunities at the Stables Block and within the Walled Garden

#### **The Walled Garden**

- 3.99 The Walled Garden was built by Charles Watson over a ten year period from 1780-1792 and covers 2 ½ acres. The original pathway system inside the walled garden formed a north south divide and one area was used for the hot houses. These areas were further subdivided by trees and hedges into several plots.
- 3.100 The walls are between 4-5 metres high and constructed for the most part from rubble stone. The exception being the inside faces of the north and east walls and the outside faces of the south and west walls which are lined with brick to maximise the retention of heat.
- 3.101 The remains of two furnace houses adjacent to the north wall are visible against its outside. The east end of the south wall contains four bee-boles, square openings with timber lintels set high in the wall, to function as a frame for a beehive.
- 3.102 The remains of the once grand entrance are still visible at the south end of the east wall, with tall dressed stone pillars on either side, on which large wooden doors would have been hung. Uniquely this wall is lower than others for the most of its length, sweeping up in a curve towards the north and south ends, presumably to allow more sunlight into the garden.
- 3.103 By 1853 two large glass houses had been constructed within the walled garden – one against the north wall and on the west side.
- 3.104 In 1918 the walled garden ceased to function as such and gradually became overgrown. With the exception of using it as an enclosure for grazing pigs between 1952-1956, this has been its state since.
- 3.105 The walls are in various states of decay – the east wall is missing its cope but in good condition, although suffers from the overgrown vegetation. The south wall is in the poorest state of preservation, bowed and unstable in places. The west wall is in fairly good condition but is covered for much of its length by ivy. The north wall is in good condition, with interesting features such as a door breaking through to the garden with 'CW 17[8]0' inscribed in its sandstone lintel.
- 3.106 In 2006 however, a footpath constructed to wheelchair standards, was constructed through the walled garden between the main gate and the west wall to enable visitors to view the extensive spread of snowdrops, for which the garden has become known in recent years.

#### *Walled Garden structures Condition Statement*

- 3.107 The walls surrounding the walled garden are in a variable state of repair and condition. There was no suggestion of major foundation movements or problems with bearing. The wall masonry remaining is in reasonable condition in many stretches of wall, which would only require repointing.
- 3.108 Wall heads are in various degrees of degradation with some areas of partial collapse, and copes are missing for long stretches which will have accelerated deterioration of the wall core. There

will be an element of rebuild or resetting of masonry for a depth below the cope for almost the entire perimeter of the garden.

- 3.109 Vegetation has taken root in the wall masonry in some localised areas and will need to be chased out of the wall fabric to secure a long-term consolidation of the masonry.

#### *North Wall*

- 3.110 The north wall is in the best condition of all elevations, potentially due to being relatively sheltered from prevailing weather over time. The wall head copes are generally intact which will have protected the wall core but some localised sections will need replaced and the wall head consolidated.
- 3.111 There is ivy growth on long stretches of the wall which will need to be cleared and the roots removed so that there is no repeat growth.
- 3.112 Repointing of the wall copes should be carried out along with general repointing for durability purposes.
- 3.113 There are two buildings outshooting to the north, presumably used as gardener's bothies or store rooms. Although the rooms have not been roofed for some time, the internal walls of these spaces appeared to be in reasonable condition and should only require standard repointing.
- 3.114 The doorway timber lintel may need to be replaced or repaired. The steps into the garden will need some localised consolidation and resetting due to loose masonry.
- 3.115 There are a number of local areas of loose masonry and small openings which will need to be consolidated or infilled.

#### *East Wall*

- 3.116 The east wall includes the main formal entrance to the walled garden, with gate piers framing the opening. The wall head level changes along its length, with a lower central section rising towards the north and south corners.
- 3.117 There are no copes along the east wall which will mean the wall core will be vulnerable to water ingress and accelerated degradation, and it would be reasonable to expect some rebuilding of the wall head along its full length. Vegetation growth along the wall elevations will also need to be removed and roots chased out of the masonry.
- 3.118 The north pier at the entrance has some dislodged stones which would need to be reset.
- 3.119 The wall exhibits two distinct levels of construction, with a much more solid and coherent base up to approximately one metre above ground level, then a looser and hungry-jointed rubble masonry above. The upper masonry will need more attention and deeper repointing.
- 3.120 The internal face of the east wall has been largely built in brick, and the upper wall core is fully exposed immediately north of the main entrance. This will need heavier consolidation.

#### *South Wall*

- 3.121 The south wall is currently the wall in the poorest condition in the walled garden, with areas of collapse and previous rebuilding evident. Most of the wall is made of brick and there is very heavy vegetation along the irregular wall head, including larger diameter trees.
- 3.122 More extensive rebuilding will be required along this elevation with up to 1.5m of wall reset or replaced to allow rebuild off a sound bearing. The requirement to rebuild to the original height should be tested as there would be advantages in rebuilding to a lower level in terms of cost and structural justification for the wall.
- 3.123 The eastern end of the wall is in better condition and the small openings are in good condition, including the timber lintels.

### *West Wall*

- 3.124 The west wall was difficult to assess due to heavy ivy growth and close vegetation along large sections of the wall on both faces. There was evidence of missing copes and exposed wallheads, and it would be prudent to assume this would require some rebuilding of masonry at high level due to water ingress and vegetation growth affecting the integrity of the wall masonry.
- 3.125 The doorway and lintel through this wall appeared to be in good condition and should not need remedial measures.

### *Potential for Refurbishment*

- 3.126 The walled garden will require extensive consolidation works to the main walls on all elevations. Although the walls appear to be thick enough to justify as freestanding masonry there may be an opportunity to reduce wall heights slightly where there is a requirement for partial rebuild or heavy consolidation.
- 3.127 The two buildings to the north of the walled garden would need to be fully refurbished to be suitable for re-use, but the masonry walls could act as loadbearing masonry for new roof coverings.

### **The Water Tower**

- 3.128 Charles Watson is also credited with the appearance of the circular Water Tower, formerly Cammo windmill. A string course demarcates each level, and it has a crenelated crown to give it a castellated appearance. It is thought that the Water Tower was a functioning water tower. The outside of the tower appears in good condition although it also has been left derelict.

### *The Water Tower Condition Statement*

- 3.129 The external walls of this impressive cylindrical tower structure are in reasonable condition given the age and probable repair history of the building. Masonry and pointing appeared to be intact but would need a more detailed survey at height and it would be prudent to plan a programme of repointing works.
- 3.130 The arch lintel over the main ground floor doorway has two stones which have slipped. This does not cause structural concern but the gap created above them needs packed, or if the stones are to be jacked back into place some temporary works will be required. A crack propagates up from this slipped arch stones suggesting some historic settlement or movement in the tower. Whilst this does not appear to be structurally significant, the crack should be repaired using repointing and stainless steel ties.
- 3.131 Internally the masonry appeared to be in good condition with only local minor openings or gaps in the masonry which should be infilled with stone.

### **Boundary Walls**

- 3.132 The designed landscape is enclosed by a combination of boundary walls, fences and hedgerows. Walls are not continuous as illustrated on Fig 3-4, but define most of the western/north-western boundary, part of the southern boundary and areas adjacent to the Cammo Lodge entrance on the eastern boundary. These walls are mostly of stone rubble construction and vary in height. The western/ north western walls average c. 1.5m high but adjacent to Cammo Road the wall acts as a retaining structure and its height on the low sides reaches in excess of 3m in places.
- 3.133 At the Cammo Lodge entrance the boundary walls connect with the parapets of the small masonry bridge over the Bughtlin Burn. Walls on the southern boundary connect with the Steading ruins and with the Walled Garden. These are lower (c 1.2m ) and have squared copes for part of their length. The wall connecting with the south-east corner of the Walled Garden defines a gateway at this corner.

### *Boundary Walls Condition Statement*

- 3.134 Generally the boundary walls are intact and freestanding stone masonry. Most require some attention to repair and consolidate areas where there has been some deterioration of the mortar beds.
- 3.135 The main retaining wall along the north road to the North West corner of the estate appeared to be in reasonable condition generally, and changes retention face along its length as the road sweeps south and east along the north boundary. The base of the wall on the internal face to the east side appeared to have loose or missing mortar and there will be a requirement to repoint and consolidate the wall as part of normal maintenance.



**Photos: Condition of Buildings and Structures**



**1**



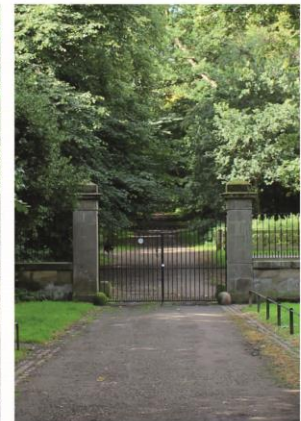
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- 1** Cammo House from South Vista
- 2** Cammo House from north-east corner
- 3+4** Bridge and Walls from Cammo Road
- 5.6 + 7** Cammo Lodge and Gate Piers



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**8.9 + 10** The wall at the Pinetum, including steps and ornamental pineapple  
**11 + 12** The Canal and viewing platform



13



14



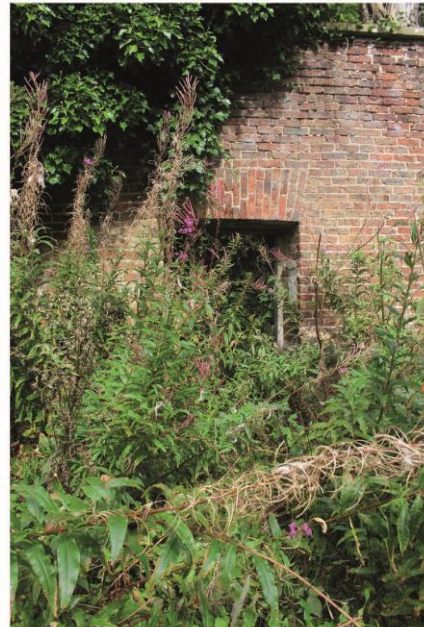
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13 Main entrance to The Walled Garden  
14, 15 + 16 East Wall, South Wall and North Wall of The Walled Garden respectively  
17, 18 + 19 Entrances to The Walled Garden



20



21



22



23



24



25

20 Old Steadings from Sheep Park  
21 Southern end of Old Steadings Ruins  
22 View of the Stable Block from South Avenue  
23,24 + 25 The Stable Block



26



27



28



29



30



31

**26 + 27** The Water Tower and view to the Water Tower from the Stable Block

**28** North Gate

**29** Walls and piers to South Car Park

**30** Boundary wall towards new development at Cammo Home Farm

**31** Boundary Wall to north, along Cammo Road. At times this wall is rubble/covered completely by Ivy.



**32**



**33**



**34**



**35**



**36**



**37**

**32** Boundary wall to north-west, at point where Cammo Road no longer bounds the estate.

**33** Boundary wall along western edge of site, the wall curves round south west to form a boundary between the adjacent golf course and field and no longer bounds Cammo Estate

**34** Boundary wall to west, adjacent to marsh area, the wall is badly damaged in two places

**35** Boundary wall to south

**36** Boundary wall to south, where it runs to meet the Old Steadings

**37** Remnants of the Boundary wall along the southern part of Cammo Road

## Access Network

- 3.136 Historically main access routes into the Estate would have been via either Cammo Walk (from the south) or East Avenue. Cammo Walk historically extended into the core of the designed landscape and connected with East Avenue, but today only its northern section is inside the study area, and this now crosses South Field as a simple desire line. ). Numerous secondary access routes existed in the 18<sup>th</sup> century, e.g. 'Oak Avenue' which defined the southern edge of the core area and other routes which led to Cammo House, running parallel to the tree avenues. By the early 19<sup>th</sup> century some routes had been formalised and new connections developed which broke the earlier formality. The 1824 plan shows that routes to and from the Stable Block had been developed creating better connections with Cammo Walk and with Cammo House via the route known today as 'South Avenue' (Figs 2-7 and 2-9). Several of the historic access routes remain in use today for pedestrian and vehicular access. However the historic formality of these routes and their entrances has been lost and a number of routes have been abandoned, or are legible only as desire lines/mud paths. Some new desire line paths have also developed following the removal of field boundaries and lines of trees.
- 3.137 The old drives remain in use and form the basis for circulation around the perimeter of the estate. These are mainly referred to as un-metalled paths in the plan below (Fig 3-9). Desire lines, and new paths intersecting these, have developed in all directions over time, especially since the estate has been used as a nature reserve and dog walking site. It appears that sometime in the recent past many of these internal desire lines have been upgraded with the introduction of Type 1 aggregate to create a more even surface.
- 3.138 There is currently no vehicle access in the north part of the Estate but cars can drive up Cammo Walk in the southern part of the site and park in the car park near Oak Avenue. Cammo Road to the east and north of the site forms a boundary to the estate.
- 3.139 A number of routes throughout the estate are either local routes or core routes, in particular East Avenue and South Avenue. Cammo Walk and Cammo Road are a designated Quiet Route for cyclists.



**Figure 3-9: Access Network**



## Spatial patterns and views

- 3.140 Historically the designed landscape framework was divided by drives and approaches, fields and Formal Avenue planting. Over time this had been diluted by informal tree planting and growth of woodland. The historic layout as specified by John Clerk however remains, albeit somewhat subtly, in the form of East Avenue and South Vista and the corresponding fields.
- 3.141 Spatial patterns are currently formed via drives, approaches and parkland tree planting (some following historical avenue lines) and blocks of woodland. These define large open spaces (mostly parks of fields) and smaller intimate spaces (meadows, and the Pinetum).
- 3.142 Blocks of woodland and remnants of tree lined avenues frame vistas. The addition of the canal in the late eighteenth century formalised another view as in evidence by the sandstone termination point which may have held a pavilion.

### Drives and Approaches

- 3.143 The extension of Cammo Walk in the South Field no longer exists in its formality, but rather a desire line running north to south through the field. By 1805 the avenue trees were starting to be thinned and the drive to the east was used as the principal entrance.
- 3.144 The Southern Vista was never used as a formal drive or approach but it was nonetheless likely a main pedestrian route. Although it's planting has become overgrown, it still forms a vista, out to the fields beyond and up to the house depending on the direction. It is said that the view southwards gave views of the eastern end of the Pentland Hills.
- 3.145 The current main drive approaches Cammo House from the east. East Avenue passes over the gate lodge and burn, through the remains of a lime avenue before gently curving north towards the house. Recent planting has detracted from the formality of a tree lined avenue, as planting has come together to form denser blocks. The area in front of the house, which used to contain a circular driveway, has been obscured by much nineteenth century planting of mixed deciduous and coniferous trees.

### Parkland

- 3.146 The configuration of parkland broadly follows those boundaries set out by Clerk's early landscape; the series of regular field components separated by, avenues or trees can still be traced. Of the roundels planted by Clerk only the Beech Roundel remains (in spirit only, none of the trees being from the Clerk period).
- 3.147 To the north, North Field and Home Field remain broadly the same configuration shown in the original Clerk design due to their separation by what was once a formal path. Now, many smaller paths and desire lines intersection these two areas. The biggest change over time was the rerouting of the road to the east, which now runs north-westwards and cuts across the north of the estate, forming a boundary.
- 3.148 Early nineteenth century lawns to the front of the house were formed by thinning the trees from the South Vista and Cammo Walk. This has now been given over to dense tree planting which confines the original vista. Southfield however, remains in place although the formal road no longer dominates its east side, it now being a simple track instead.
- 3.149 To the west of South Avenue, what was once open space is now dominated by the walled garden and woodland planting, which opens into smaller glades, namely Larch Tree Meadow and South West Meadow.

### The Gardens

- 3.150 No formal gardens survive, except the derelict walled garden.
- 3.151 To the west of the house, the formal woodland blocks and parterre were replaced with what is now the High Meadow and Pinetum. The historic maps show how the formal planting was

replaced with a block of woodland to the rear of the house which curved north and then eastward. The Edinburgh Archaeological Field Society have been undertaking a number of small-scale investigations which via geophysical surveys suggest that the formal layout of the gardens; the parterre and enclosing bank, are still discernable in front of the house.



**Figure 3-10: Views**



View 1: East Avenue, from Cammo Lodge towards Cammo House



View 2: North Field, from East Avenue near Cammo Lodge



View 3: South Field, from East Avenue near Cammo Lodge



View 4: South Field from East Avenue



View 5: Towards the Standing Stone, and beyond the Canal, from East Avenue



View 6: Towards Cammo House from a path shooting off from East Avenue



View 7: South Vista from Cammo House



View 8: Cammo House from the Canal



View 9: The Canal from the east end



View 10: The Canal from the west end





View 11: The Pinetum (feature wall behind scrub) from path leading from Cammo House



View 12: North Field from the north-east



View 13: North Field from the north



View 14: Towards North Field from west core path



View 15: Desire line from west path to North Field



View 16: Looking towards the Pinetum from the High Meadow



View 17: Looking south along the western core path



View 18: Looking north along the western core path



View 19: View from south end of western core path towards Mauseley Hill



View 20: Looking north along South Avenue from the Stable Block



View 21: Towards the Water Tower and Mauseley Hill from the Stable Block



View 22: South Vista, from the south end, looking towards Cammo House



View 23: Oak Avenue, from the southern car park



View 24: South Field from the southern car park



View 25: Larch Meadow



View 26: Looking south along South Avenue



## 4 Understanding the Heritage: Context

- 4.1 Cammo Estate is located in the greenbelt (still applicable) on the north western edge of the City of Edinburgh. It adjoins agricultural land and is close to Crammond and the course of the River Almond which runs past its northern boundary. The residential areas of Crammond Bridge / Crammond are immediately to the north-east of the Estate, while East Craigs, Clermiston and Barnton lie to the east. This area of Edinburgh is accessed by the A89 Glasgow Road and by the A90 Queensferry Road which both link with motorways to the west of the city. Maybury Road connects the A89 and A90, and forms the western boundary to the East Craigs area. To the west of Maybury Road the landscape is currently rural in character comprising agricultural land, Cammo Estate, Turnhouse Golf Course and the outlying greenspace associated with Edinburgh Airport. This context is due to change in the future as planning consent has been granted for housing development in the fields between Maybury Road and Cammo Walk close to the south-eastern boundary of Cammo Estate.
- 4.2 Historically this area of the Lothians was prosperous and supported intensive agriculture followed by industry in the form of coal and oil shale mining. It was an area in which several significant estates and designed landscapes were developed during the 18<sup>th</sup> and 19<sup>th</sup> centuries; some occupying and re-purposing older medieval sites, and others establishing policies on formerly agricultural land. Within a few miles of Cammo were Hopetoun House; Dalmeny House; Dundas Castle, Newliston House; Lauriston Castle; Carlowrie Castle; Norton House and Gogarburn, together with numerous smaller houses and their policies. Influential architects and landscape designers from these periods worked on several of the above properties commonly by referrals from one landowner to another e.g. William Adam at Hopetoun, Newliston and at Cammo.
- 4.3 The Cammo designed landscape was laid out by the influential John Clerk in the early 18<sup>th</sup> century, it consequently marks a transition from the formal French-influenced landscapes of the 17<sup>th</sup> Century (e.g. Alexander Edward/ William Bruce at Hopetoun) to the more picturesque approach employed in the later 18<sup>th</sup> and 19<sup>th</sup> centuries. Its early design was however, formally structured, but lacks the grand scale and extensive vistas of earlier landscapes such as Hopetoun House and Hamilton Palace. Its vistas were contained within the boundaries of the estate by woodland roundels, tree belts and the enlarged Mauseley Hill, rather than continuing to terminate at distant features. Subsequently the designed landscape was informalised, but not by sweeping changes (typified by Capability Brown in England), but by the incremental removal of formal plantings and access routes. This approach was on whole unsuccessful, leaving a landscape that has unclear design identity.

## 5 Statement of Significance

### Why is Cammo important?

#### Introduction

- 5.1 The Cammo Estate is a complex landscape with a range of interacting social, cultural and environmental values that combine to create a story and a place that is more than the sum of its parts.

#### Cultural significance

##### *Evidential value*

- 5.2 Cammo's historic environment provides evidence of a range of periods of human activity.
- 5.3 The presence of the Scheduled late Neolithic/early Bronze Age standing stone hints at early origins for activity in the area – albeit with some uncertainty regarding whether the asset has been relocated during the development of the estate. Nevertheless, the presence of this nationally important asset, as part of a wider distribution of broadly contemporaneous ritual and funerary sites in west Edinburgh, hints at elevated archaeological potential.
- 5.4 The core of the designed landscape has been demonstrated, through recent excavations and geophysical survey by the Edinburgh Archaeological Field Society (EAFS), to hold significant evidence of the development and remodelling of the estate through time. Garden archaeology, relating to a potential *parterre anglais* to the principal elevation of Cammo House, has been identified through resistivity survey. This represents important evidence of early formal landscape features, likely connected with the Menzies/Adam and Clark phases, that expands our understanding of this important period in the estate's development. Extensive archaeological remains relating to a number of phases of buildings are present, and are the subject of ongoing study by EAFS. This evidence has considerable potential to refine our knowledge and appreciation of the layout of the estate, particularly for the earlier periods where little mapped evidence is available.
- 5.5 Clark's original layout of the estate, both in terms of the extant elements and archaeological remains of related features, in addition to William Adam's additions for John Hog, provide evidence of 18<sup>th</sup> formal landscape design. This includes the presence of historic water management infrastructure necessary to supply and drain the canal – and characteristic feature of the estate, a Scheduled Monument and a key design link to Adam and Clark's more celebrated work at Mavisbank in the 1720s. The partially extant buildings and structures also provide valuable physical evidence of contemporary construction techniques and approaches, with the walled garden being of particular interest as a relatively early, and large, example of a partially brick-lined wall featuring glasshouses and heated elements, along with bee boles.
- 5.6 The evidential and archaeological value of the estate is assessed as being of overall **regional importance**.

##### *Historical value*

- 5.7 Cammo is a fine example, not of one specific period of landscape design, but as an illustration of the changing theories, fashions and approaches to estate layout and use. Sir John Clark of Penicuik was, although strictly an 'amateur' designer was one of the foremost landscape theorists of his day. His blank verse poem *The Country Seat* – post-dating his ownership and works at Cammo – is widely held to be one of the most important 18<sup>th</sup> century Scottish treatises on architecture and landscaping. While his early designs for Cammo may not wholly reflect these

later principles, his core layout and experiments in planting can be seen as part of his education that contributed to more mature works, most notably the formal layout of the Mavisbank designed landscape (likely with William Adam). His influence can still be read in the landscape today, setting the structural framework into which later features have been added.

- 5.8 Much of Cammo's illustrative value rests in the narrative of the estate, which reflects changing thinking and approaches to the design and management of elite estate centres through the 18<sup>th</sup> and 19<sup>th</sup> centuries. It illustrates the process of lowland estates 'improving' their landholdings, adopting fashionable architectural and design approaches of broadly continental European origins. This reflects the growing contact between elites of this time and their European counterparts through the 'Grand Tour' and the expanding horizons afforded to the Scottish landowning classes through, first, the Union and, later, the enthusiastic embracement of the colonial project.
- 5.9 Clark, as a member of the last Scottish Parliament – and the first of the United Kingdom – in addition to his role as a commissioner for the Union (1706-7), is an important figure in the radical political and social change affecting Scotland in the early 18<sup>th</sup> century. This association is therefore a key part of the asset's importance.
- 5.10 The estate is also associated with the work of a number of important designers, in addition to Sir John Clark. Most notable amongst these is William Adam, patriarch of a family of internationally important architects and designers<sup>1</sup>, who remodelled the late 17<sup>th</sup> century Cammo House for John Hog. In addition to his architectural interventions, Adam is believed to be responsible for the rectilinear canal which forms the western 'arm' of the broadly cruciform axes of the estate plan. Again, this mirrors later work at Mavisbank – where a formal canal (in that case somewhat 'naturalised' in the 19<sup>th</sup> century) was a key part of the main axial layout of the designed landscape. This further enhances Cammo's position on the continuum of evolving landscape theory and practice in 18<sup>th</sup> century Scotland. Robert Reid (1774-1856), designer of the 1811 stable block, was a noted Edinburgh architect and, in many ways, a pioneering conservationist. The King's Surveyor for Scotland between 1827 and 1839, many examples of his work survive in Edinburgh and across Scotland, although the Cammo stables are potentially the only known example of this type of building in his oeuvre. Reid and his assistants undertook a range of works for the Watson family – owners of Cammo between 1741 and 1873 – who were also proprietors of the Saughton estate in southwest Edinburgh.
- 5.11 Cammo House is widely credited as being Robert Louis Stephenson's inspiration for the foreboding House of Shaws in his 1886 novel 'Kidnapped', adding value through association with an internationally important 19<sup>th</sup> century author – albeit to the distinctive gables of the lost upper storeys of the 17<sup>th</sup> and 18<sup>th</sup> century mansion.
- 5.12 The historical value of the asset is assessed as being of **national importance** and outstanding value.
- Aesthetic value*
- 5.13 The designed landscape as it exists today has considerable aesthetic value. This derives, in the first instance, from the framework laid out by Clark and enhanced by Adam in the 18<sup>th</sup> century. The harmonious additions to the estate's built environment and plantings, through the actions of successive owners into the later 19<sup>th</sup> century, have added to this framework. The palimpsest of different design approaches, priorities and layouts creates a rich landscape with considerable, legible time depth. This sense of history is enhanced by the 'romantic ruin' appearance of much of the estate's built heritage. While creating management challenges, and resulting in harm to the significance of individual assets, this creates part of the aesthetic appeal of the place – underscoring Cammo's reputation as a 'hidden gem'. Indeed, the sense of nature reclaiming the place is part of the appeal for some users.
- 5.14 The historic plantings and veteran trees that comprise a key part of the landscape structure make an important contribution to aesthetic value. There are many fine specimen trees, notably the

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<sup>1</sup> His sons, John, Robert and James were all architects; the latter two refining their father's Palladianism into a distinctive, unified 'Adam style'

oaks that are so characteristic of the designed landscape, and also some rarities including exotic specimens within the Pinetum, and numerous veteran willows in the Walled garden and on Oak Avenue.

- 5.15 The architectural assets within the landscape have considerable aesthetic value. While the ruinous nature of most of the assets (most notably Cammo House, the walled garden and the stable block) has harmed some of their architectural value, the quality of their design, materials and construction is still readily apparent – and is reflected in their Listed status.
- 5.16 The overall aesthetic value of the asset is assessed as being of **regional importance**.

#### *Summary*

(‘Communal value’, as understood as part of cultural significance, is dealt with separately below in relation to community use and value.)

- 5.17 Overall, Cammo should be considered to be **nationally important**, in particular with regard to the historical associations with leading 18<sup>th</sup> century thinkers and architectural and landscape designers – particularly Sir John Clerk – whose legacy is still tangible in providing the overarching landscape framework. This is reflected in its designation as an Inventory-listed Garden and Designed Landscape.

### **Ecological significance**

#### *Introduction*

- 5.18 The greatest habitat interest lies in the veteran and potential veteran trees, a few of which are potential survivals from the earliest period of the estate and representing part of Clerk’s design. These trees can provide habitat for nationally and regionally scarce species that are restricted to old and dead wood. Their interest is further enhanced by their location in or near to the open parkland under relatively low input management. The importance of old parkland for nature conservation has been generally recognised only fairly recently, but the habitat (Lowland Wood – Pasture and Parkland) now has national Biodiversity Action Plan status.
- 5.19 Four of the habitat types on the estate, woodland, farmland, semi-natural grassland and ponds, are covered by the Edinburgh Biodiversity Action Plan. The diversity of habitats on the site is very high in the urban fringe context, and this is enhanced by the juxtaposition of the Estate to the riparian woodlands lining the Almond. This diversity provides excellent faunal habitat.

#### *Fauna*

- 5.20 The site supports a population of badgers with, it would seem, the unusual situation of main setts of two different social groups within 200 metres of each other. Badgers are protected by the Protection of Badgers Act 1992. The open habitats of the Estate, including the walled garden, meadow areas and fields are of importance as foraging territory.
- 5.21 Bats, both pipistrelle and brown long-eared, forage over the site and the latter species roost in the stables and may roost in the walls of the walled garden. Bats and their roosts are protected by the Wildlife and Countryside Act 1981, the Nature Conservation (Scotland) Act 2005 and the Conservation (Natural Habitats) Regulations 1994. The meadow areas and woodland edges provide ideal foraging habitat.
- 5.22 The site also supports an abundant and diverse bird population for its size and urban fringe location, including species recently identified by the RSPB as having significant declining populations, such as song thrush, grey partridge, lapwing and skylark. The latter three indicate the importance of the fields to farmland bird species. Raptors, including buzzard and barn owl, nest within the estate.
- 5.23 The woodlands around the walled garden and house are particularly good for woodland birds because of their heterogeneity of structure and species composition, resulting in the presence of birds typical of both open and thicket woodland. These include species that are quite scarce in the Lothians, such as green woodpecker, great spotted woodpecker, garden warbler, blackcap and chiffchaff.

- 5.24 The site with its combination of old woodland, scrub, grassland and old parkland habitat has the potential to support an abundant and diverse unimproved invertebrate fauna, although no surveys have yet been carried out. The veteran trees are particularly good potential invertebrate habitat.

### *Flora*

- 5.25 Floristically, the habitats of the Estate are relatively poor due to high levels of past disturbance, including grazing, felling, re-landscaping, numerous track re-alignments in the woodlands and war time cultivation of the fields. Latter day abandonment of cutting and grazing in the meadow areas has further reduced diversity. However, a number of locally scarce and rare plant species do occur, plus two nationally rare species, hornwort, an aquatic species which is found in the canal and upright brome, an old introduced grass which is found in Stables Meadow.
- 5.26 The Estate also contains a number of flower and grass species that would have originated from the former gardens (including the original house garden) and the original parkland grassland. These species are of interest because of the record they provide of species grown on the Estate, as do the trees and shrubs remaining from the different development periods. Also, the patches of old parkland grass species may provide future inocula for spread if conditions were right.

### **Community use and value**

- 5.27 The designed landscape has considerable value to a range of users. It is a well-used leisure and recreation asset for communities in the vicinity, most notably Cammo itself and also Cramond, Barnton and Craigmount. The majority of use is informal, notably dog-walking, walking, trail running and nature-watching.
- 5.28 The estate has a large and active community group – the Friends of Cammo – that plays an active role in natural heritage conservation activities, including extensive planting of native tree, shrub and wildflower species. The landscape is also used by the Cramond Cub and Scout groups for informal recreation and practising ‘bushcraft’ and navigation skills. In addition, a permanent orienteering course, maintained by Edinburgh Southern Orienteering Club, has been in place at Cammo for a considerable period and is used for club and competitive events throughout the year.
- 5.29 As noted above, Cammo has become a focus of research and fieldwork activity for the Edinburgh Archaeological Field Club (EAFC). Working with the City Archaeologist, EAFC has devised a programme of investigations designed to characterise less well understood elements of the on-site structures, identify garden archaeological features and expand knowledge of place. This work has already proved valuable in confirming the location and layout of the 18<sup>th</sup> century parterre through geophysical survey. In addition to the information returned, these fieldwork projects play a valuable role in connecting communities with their cultural heritage and engaging a new generation of amateur archaeologists, through the involvement of the Young Archaeologists’ Club. The ability to take part in real excavation and research projects, with tangible results that make a meaningful contribution to the knowledge and understanding of a local – but nationally important – place should not be underestimated.
- 5.30 The designed landscape is also used periodically by Edinburgh and Napier University biology, ecology and geography courses as a convenient, but charismatic, location for undergraduate field study projects.
- 5.31 The management of the asset by the City of Edinburgh Council as a public park is critical in underpinning the communal use and value of the place. Partnership working with communities of interest has enabled local people to have an active role in conserving and enhancing the biodiversity of the asset and, latterly, in better understanding and articulating its cultural significance.

## Designations

### Cultural heritage

- 5.32 Cammo is highly protected, with the following designated heritage assets on site:
- Cammo **Inventory-listed Garden and Designed Landscape** [GDL00081]
  - Cammo standing stone, **Scheduled Monument** [SM6189]
  - Cammo Canal, **Scheduled Monument** [SM6440]
  - **Category A Listed group of buildings** (also individually designated as described below):
    - Cammo House, Category B Listed Building [LB28037]
    - Walled garden, gate piers, out buildings and bee-boles; Category C Listed Building [LB30261]
    - Stable block, Category B Listed Building [LB30259]
    - Water tower, Category B Listed Building [LB28039]
    - Plantation wall, Category B Listed Building [LB47715]
    - Rubble bridge, Category B Listed Building [LB30263]
    - Bridge, including quadrant walls and estate boundary walls, Category B Listed Building [LB30262]
  - Gate Lodge, **Category B Listed Building** [LB43936]
  - Gatepiers, railings and boundary wall, **Category B Listed Building** [LB30260]
- 5.33 The Category A group listing, Scheduled Monument status of key elements and designation as an Inventory Garden and Designed Landscape underscores the national significance of the place, and the importance of the assemblage of features. (Scheduled Monuments and Inventory-listed Gardens and Designed Landscapes are required to meet tests of national importance to enable designation.)

### Biodiversity

- 5.34 Cammo Estate was designated as a **Local Nature Reserve** in 2016. It is one of Edinburgh's seven Local Nature Reserves which complement the more designed landscapes and public parks within the Council area.

### Planning

- 5.35 Cammo lies within the City of Edinburgh's green belt. This places strict planning restrictions on the range of development types and uses that are considered appropriate within this area.

## Level of significance

- 5.36 Cammo, by virtue of its combined cultural, communal and biodiversity value, should be considered to be of **national importance**.
- 5.37 This is, as demonstrated above, principally derived from its cultural significance – which underpins the way in which the place has developed through time and, in turn, prevented use or development that may have harmed this significance, and also enabled other values to develop. Public access, through management by the City of Edinburgh Council as a public park, is fundamental to the ability of local people and visitors alike to understand, appreciate and experience this significance.

## Threats to significance

### Uses

- 5.38 Currently, the use of the Cammo Estate is generally informal and comparatively low intensity. It rarely feels 'too busy' as the capacity of the landscape to absorb relatively large numbers of people is facilitated by comparatively restricted visibility over longer distances. The visitor infrastructure however, – most notably parking facilities – reveal more of the pressure on the asset, with frequent overcrowding and anti-social (and unsafe) parking on the road verges and in nearby residential areas a frequent issue.
- 5.39 The extensive use of the estate by professional dog walkers has created management challenges for the Council, in terms of parking, regulation of behaviour and pollution caused by the volumes of dog faeces<sup>2</sup>. The 'hidden' nature of the place means that, beyond local communities, knowledge of the asset is comparatively low. In turn, the rates of anti-social behaviour are potentially lower than would ordinarily be expected for a large, urban edge and comparatively secluded asset.

### Management

- 5.40 Nature has been allowed to run its course across much of the landscape over a period of some decades, with relatively minimal health and safety-focused tree management, along with stabilisation of historic structures and light-touch access works.
- 5.41 Historically, some planting decisions – most notably under-planting the main east drive from the gatelodge to the estate core – were made with insufficient reference to the cultural significance and design of the landscape. This has obscured some of the design intention by 'informalising' the character of the avenue. Similarly, biodiversity-led interventions have been undertaken with the best of intentions, and have added to the natural heritage value. Planting of native trees and hedgerows have however, in places, contributed to a dilution of the integrity and authenticity of the landscape through the introduction of incongruous species and structural elements.
- 5.42 While it is not anticipated that wide-ranging change to recently-added features would be necessary or desirable, ensuring the onward management of the asset is aligned with safeguarding and enhancing the asset's cultural significance is critical.

### Development in the wider environs

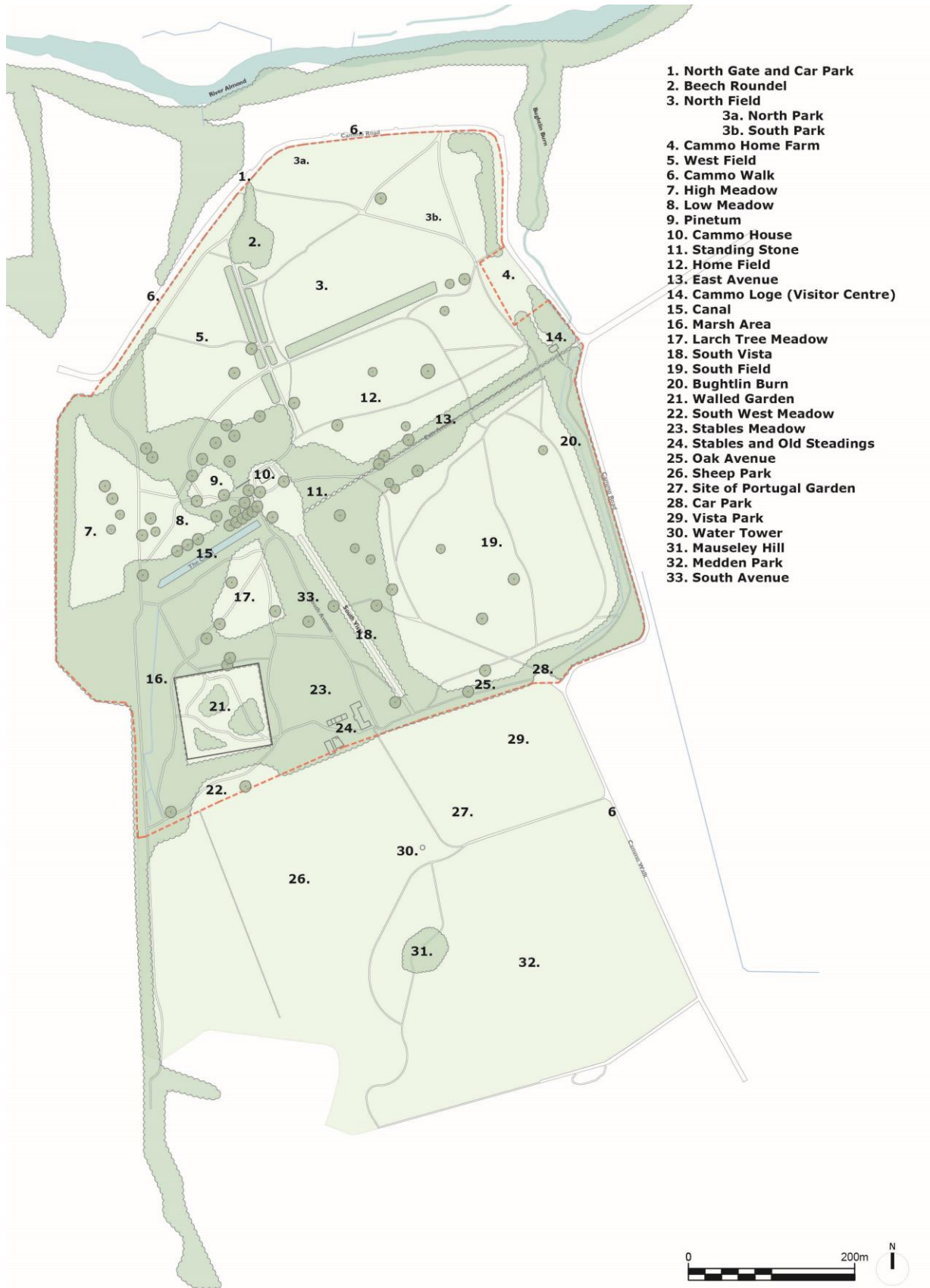
- 5.43 Cammo is in a unique, and somewhat precarious, position. While it is currently relatively stable in terms of condition and forces for change, very large residential planning permissions recently granted in the vicinity promise significant change to the demographic and visitor pressure baseline.
- 5.44 An extensive area of land immediately to the east of the Cammo Estate, between the designed landscape and Maybury Road (A902) is allocated for housing in the current City of Edinburgh Local Development Plan (2016)<sup>3</sup>, with a further, larger, area in close proximity between East Craigs and Edinburgh Airport<sup>4</sup>. These areas would likely accommodate around 500-700 and 1,700-2,000 houses respectively. The creation of such large-scale new neighbourhoods will, inevitably, require strategic greenspace provision – greatly increasing the importance of Cammo as a resource for leisure and recreation. While this can be viewed as a substantial threat to the significance of the asset – which unmanaged and unmitigated organic increases in visitor numbers would likely be – but also an opportunity for positive action to ensure the asset's resilience to projected change.

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<sup>2</sup> It should be noted that this issue was not confined to professional dog walkers. A previous management agreement with a local farmer had to be cancelled, as the hay crop gathered from Cammo's meadows became unsuitable for use as animal feed due to the

<sup>3</sup> Allocation HSG20 [http://www.edinburgh.gov.uk/download/downloads/id/8520/ldp\\_proposals\\_map\\_-\\_north\\_east.pdf](http://www.edinburgh.gov.uk/download/downloads/id/8520/ldp_proposals_map_-_north_east.pdf)

<sup>4</sup> Allocation HSG19. Housing numbers for allocations, p. 27 of Edinburgh Local Development Plan 2016



**Figure 5-1: Key Features of Cammo Estate**



## 6 Risks & Opportunities

### Background

- 6.1 Cammo Estate is currently managed and maintained by the City of Edinburgh Council. The Estate is designated as a Local Nature Reserve and the emphasis is on the management and protection of its nature conservation values, while respecting its cultural heritage significance. The Estate comprises grasslands, woodlands, tree belts and a number of historic buildings and structures. It also includes an ornamental canal and a section of the Bughtlin Burn within its boundary.
- 6.2 Cammo represents a designed landscape originally laid out in the early 18<sup>th</sup> century by Sir John Clerk. The original landscape's formal layout was subsequently altered and a number of features were added resulting in today's landscape which retains interventions from the 18<sup>th</sup>, 19<sup>th</sup> and 20<sup>th</sup> centuries. Some of the oldest tree plantings remain as veteran trees of great significance, although many have been lost through disease or deliberately removed. Much of Cammo's original formality has been lost through the removal/ degradation of tree lines and alterations to access routes, woodlands and field boundaries. However the general distribution of features and spaces has been retained, enabling the original design intent to be interpreted within today's more informal structure.
- 6.3 With the exception of the Lodge House and the Water Tower, all buildings and structures within the Estate are disused, and most are in disrepair or ruin. Cammo House was taken down after fires during the 1970's and the other buildings abandoned during the early part of the 20<sup>th</sup> century, or earlier. The standing ruins are landmark features within the Estate, but their deteriorating condition represents a potential risk to visitors, and so their upkeep and potential for new accommodating uses is a key question for the future.
- 6.4 The Cammo Estate landscape is rural in character and appreciated for its relative 'wildness' by the local community, its main users. However impending housing developments in adjacent areas will introduce new community users, and this will reinforce the need to address the management of the landscape, and ensure the Estate is capable of meeting future demands while protecting its essential characteristics.
- 6.5 This project provides the opportunity to examine how the Estate should develop to meet future community and visitor demands. The following paragraphs explore the main risks and opportunities associated with the regeneration of Cammo Estate designed landscape.

### Risks & Opportunities associated with Inaction

- 6.6 Inaction or inadequate maintenance to the physical fabric of the designed landscape presents numerous risks to the heritage if no changes are made. The principal risks have been identified as follows.
- 6.7 **Degradation of structures and buildings:** With the exception of the Lodge House, which was re-roofed, restored and converted to office use in 1992, the buildings at Cammo have been disused for many years and are now in varying states of ruin. The Stable Block and Water Tower are relatively intact, although the former is roofless and the latter lacks its hydraulic features. The other structures have standing walls of varying heights and condition. Little maintenance/ repairs have been undertaken to most of the structures and buildings, although some stabilisation measures have been taken at the Walled Garden. This has allowed the weathering process to progress and the establishment of self-seeded vegetation which has caused localised damage. In addition, there has been damage from large trees encroaching on the structures (especially the Walled Garden). The effects of the above are evident in cracks, bulges and the partial collapse of masonry structures. Failure to address these problems will inevitably allow the degradation

process to accelerate and to eventually threaten the integrity and stability of notable structures such as the Walled Garden walls, the Stable Block, the standing ruins of the old Steading and of Cammo House, and the extensive perimeter walls where localised damage is evident. Inaction will also potentially endanger park users and will result in the appearance of neglect which will diminish the visitor's experience of the heritage.

- 6.8 The regeneration project offers the opportunity to make structures stable and safe and to potentially bring the Stable Block and Walled Garden back into positive use. Timely restoration and repairs of appropriately high quality will allow the structures to survive and function for a considerable period of time. They can also be a 'stitch in time' - preventing the escalation of problems (and ultimate repair costs). From the visitor's perspective it is an opportunity to ensure that structures are safe and look their best. It also provides an opportunity to interpret the structures within landscape while the works are on-going and on completion. Certain of the restoration works may provide opportunities for training and volunteer involvement.
- 6.9 **Deterioration of the Pinetum:** the Pinetum has suffered losses in recent years, and there are consequently risks that the Pinetum may lose its horticultural interest and aesthetic appeal unless restocking and appropriate management is put in place for the long term. Further loss of trees will also reduce shelter, change spatial patterns and denude the character of the designed landscape.
- 6.10 Conservation and positive management of the Pinetum could restore and enhance the horticultural significance of Cammo Estate and make the site more attractive to visitors, with increased scope of education. There may also be opportunities to increase biodiversity, and to improve the age structure of the Pinetum woodland – making it more resilient.
- 6.11 **Management of the woodlands belts and blocks:** woodland management in the Estate over the last 50 years has resulted in the introduction of planting which now obscures historic tree lines and blocks views. In many places the woodlands have become dense and over shaded with limited opportunities for understorey growth of light penetration to glades.
- 6.12 There are consequently risks that the woodlands will become more susceptible to disease or windthrow and this may change historic spatial patterns and the character of the designed landscape.
- 6.13 Positive management of the woodlands presents an opportunity to increase biodiversity, improve the age structure and the appearance of the designed landscape. This will help to ensure continuity of woodland cover, shelter and spatial definition – all essential characteristics of the Cammo Estate grounds. The woodlands may also provide additional opportunities for education, training and recreation.
- 6.14 **Loss of views and spatial qualities:** the introduction of new trees together with unchecked growth of self-seeded trees may ultimately block important views or change the spatial definition of the landscape. There is also a need to ensure that intervisibility is retained for personal security reasons.
- 6.15 Addressing the above problems may be possible as part of the woodland management process and may provide opportunities to introduce more appropriate tree species along the key vistas. This process will allow better appreciation of the designed landscape.
- 6.16 **Danger to the public from diseased/unsafe trees:** there is a risk of danger to the public where unsafe trees overhang the footpaths and/ or are leaning on historic structures. There is a need to monitor conditions into the future, especially for veteran trees becoming susceptible to disease, waterlogging and wind damage.
- 6.17 Close monitoring of 'suspect' trees close to the path network should help to inform tree surgery, felling and re-planting requirements. This should enable proactive replacement tree planting in advance of the loss of veteran trees.
- 6.18 **Deterioration of paths:** there is a risk that inadequate maintenance of the path network could result in the deterioration of path surfaces to such an extent that they become inaccessible, or at

least difficult to access by the less mobile visitors. This situation would potentially limit visitors' understanding and appreciation of the landscape and could possibly contravene access legislation.

- 6.19 Enhanced footpath maintenance would provide an opportunity to not only improve accessibility, but could also achieve enhancements to the character and visual amenity of the Estate landscape.
- 6.20 **Waterlogging:** the Estate suffers from waterlogging in localised areas and in future years it is likely that Climate Change will exacerbate drainage problems. To-date this has caused water erosion and waterlogging to paths, and has left trees susceptible to wind throw and disease. Waterlogging has also occurred in low-lying grassland areas.
- 6.21 This project presents an opportunity to improve drainage and ground conditions along the access network and to examine how surface water management might serve to create new habitats in the Estate e.g. through the creation of new water features or wetlands.



**KEY**

**NEW DEVELOPMENT**

1. New entrance, avenue up to car park/drop off. Tree management, new planting to reinstate 'Oak Avenue'
2. Wetland Area with boardwalks/ Hides for bird watching
3. Field that can be utilised as a large events space for fairs/markets
4. Creation of new car park (70 Spaces with 34 overflow spaces). Main car park screened by hedge and meadow planting.
5. Disabled Drop Off/Service Areas
6. New Picnic Benches and BBQ Space
7. Restoration of Walled Garden 'Half and Half' Option. Some new development; allotments and pop up cafe. Conservation of walls, mature trees and snowdrops.
8. Play trail elements dispersed through the woodland
9. Create more of a platform to Cammo House ruins, so it could be used as a stage/events
10. Cammo Lodge Converted into Visitor Centre/Cafe, with areas for exhibitions. Possible extension.
11. New Car Park at North Gate, screened by trees (16 spaces)
12. Naturalisation of the burn

**SIGNAGE**

- Gateway Signage with maps
- Fingerposts/Wayfinding Markers
- Interpretation Boards

**CONSERVATION ELEMENTS**

- A. Restoration of historical axis across south field (Upgrade to path)
  - B. Management of East Avenue: Thin/Clear understorey to allow views and sunlight
  - C. Restoration of the pinetum; Management of trees to help make unique specimens stand out and conservation of the wall
  - D. Conservation of the canal, reinstating a small viewing platform/pavilion at the east end, plus reinstating the adjacent lime tree avenue by filling in where trees have been lost
  - E. Trim back woodland edge to John Clerk original tree line to reinstate vista
  - F. Stabilisation of Stables. Steadings and Piggery
  - G. New larch planting/meadow planting in Larch Meadow to make a glade that can be used as a secondary informal picnic area
  - H. Repairs and restoration of the estate boundary walls
- And general woodland management whilst retaining the wild character of the area



**PREFERRED MASTERPLAN OPTION**

**Figure 6-1: Preferred Masterplan Option**

## Risks & Opportunities associated with New Developments

- 6.22 The Cammo Estate regeneration proposals include a small number of new developments, aimed principally at improving facilities for the park users and visitors. These developments pose potential risks and offer opportunities as discussed below.
- 6.23 **New Pavilion at the Canal:** the proposal to re-introduce a pavilion as the terminus to the canal should help to interpret the canal as piece of the designed landscape. Given the absence of detailed information on the original pavilion, it would be appropriate for this building to be a scholarly interpretation, but a contemporary structure. This proposition introduces potential risks associated with the visual impact of the new structure, and requires that potential positive uses be identified. There are also risks that such a small building might be subject to vandalism, especially if a timber structure.
- 6.24 A new pavilion would however help to interpret this area of the designed landscape and establish a visual connection between the Cammo Drive and the canal which are on the same axis. The structure would also allow the canal to operate as a reflecting pool as intended. It may be able to serve as a useful shelter and interpretation point, and may possibly provide a venue for 'pop-up' catering during events in the Estate.
- 6.25 **New car parking facilities:** there is a risk that the introduction of a new car park (or car parks) could cause visual intrusion from moving and parked vehicles, and could conflict with pedestrian activities in the Estate. The proposed access for vehicles , and location of the new car park is along the south edge of the park, to limit impacts on the majority of the Estate (to the north) while servicing the proposed main activity hubs at the Stable Block and Walled Garden.
- 6.26 The proposed new car park provides the opportunity to allow disabled access to new facilities within the Stable Block and Walled Garden. This accepts that some vehicular servicing would also be required for the restored buildings. Archaeological investigations could ensure that the new car park does not impact negatively on any remaining archaeological interest.
- 6.27 **New Play Areas:** risks associated with the proposal to develop new play facilities within the Grounds include the following:
- potential visual intrusion of new play equipment;
  - potential introduction of noise and disturbance from children playing;
  - potential damage to existing established trees within local area.
- 6.28 The development of new play facilities within the Woodlands close to the Walled Garden could provide a number of benefits and opportunities:
- the provision of play facilities would make the grounds more attractive to both young and older children;
  - the woodlands provide opportunities to integrate the play equipment with the trees, providing a visually discrete and exciting site for adventure and natural play. Proximity to access routes, to the Walled Garden (and potentially in the future to the restored Stable Block) would make this site convenient for visitors to the proposed activity hubs;
  - natural play proposals would provide facilities which fit sensitively within the landscape of Cammo , and these could potentially utilise timber from the site.
- 6.29 **New Furniture & Signs:** there is a requirement to renew and introduce some additional furniture and signs in order to provide high quality facilities for the restored landscape, and to remove tired or broken equipment. Risks associated with these include:
- potential visual intrusion of new equipment;
  - potential for new equipment to clash with the rural character of the site if poorly specified or designed;
  - potential damage to existing established vegetation within the local area.

- 6.30 The introduction of new signs and furniture could provide a number of benefits and opportunities:
- new orientation and welcome signs will improve the visitor experience and understanding of the Estate;
  - the introduction of new signs and furniture will provide an opportunity to remove the inconsistent and poor quality equipment thereby strengthening the identity and image of the Grounds;
  - the selection and design of new furniture and signs can ensure that they are of high quality and of a suitable character for the Estate;

#### **Risks & Opportunities associated with Building and Structural Conservation Works**

- 6.31 The potential restoration and conversion of the Stable Block is proposed as a long term objective within the masterplan, recognising that it would be cost prohibitive at present. These works would include repairs and restoration to the fabric of the building including re-roofing and internal refitting for new uses. In the medium term the existing Lodge House provides a cost effective and logical opportunity to accommodate the badly needed visitor facilities, albeit on a small scale.
- 6.32 There is also an ambition to restore and repair other historic structures within the Estate, including the Walled Garden and Boundary Walls. The scale and cost of the restoration / repair work required to the structures may be significant, and consequently it may present funding difficulties, or a need for prioritisation. CEC has consequently determined that the Walled Garden restoration should be taken forward as the subject for the HLF grant application.
- 6.33 On a practical level, there are risks that such works might disturb roosting bats or nesting birds. Some veteran trees are growing very close or leaning on walls, and these may have to be removed to allow restoration of the structures. These risks require surveys to determine how their potential presence should be addressed by the conservation works.
- 6.34 The conservation of these structures is necessary to maintain their integrity, and to ensure the safety of visitors. It importantly provides opportunities for using the buildings and spaces adjacent to structures more effectively for activities within the Estate. They provide opportunities to make positive use of these landmark structures and to safeguard their built heritage values at the same time.

#### **Risks & Opportunities associated with Climate Change**

- 6.35 Climate Change is seeing the development of more extreme and uncertain weather patterns across the world. Violent storms, periods of intense rain, high tides, drought, heat and cold, are becoming more frequent and overall, the climate is getting gradually warmer. These changes and in particular the extremes of weather, present the most immediate risks to the designed landscape. These include:
- wind damage to mature and veteran trees during storms;
  - drought or waterlogging damage to established trees and woodland;
  - flood and water scour damage to paths and structures;
  - the warmer climate is allowing the spread northwards of plant diseases, carried by insects and imported plant material; these may have an adverse impact on the established woodlands and plant population at Cammo.
  - the changing climate is favoured by certain plants which are becoming invasive, whilst others are less suited to the warmer wetter weather. This determines that following historic precedents for planting may not in all cases be appropriate.
- 6.36 Climate change may present some opportunities, particularly in proactive management measures. Woodland and garden management is an area of particular importance where there is an opportunity to ensure that restocking utilises species capable of withstanding the likely extremes

in weather. Changes in the local ecology and perhaps in visitations from migrant birds may also offer opportunities for interpretation.

### **Risks & Opportunities associated with Increased Visitor Numbers & Activities**

- 6.37 One of the HLF's objectives is to widen the audience of the Cammo Estate and to enable greater numbers of people to engage with, and benefit from, the heritage. At the same time, community consultation has identified that tranquillity and the rural character of the Estate as a key attraction. There are consequently risks associated with increased visitor numbers, in particular:
- greater numbers of visitors may compromise the peaceful experience currently valued;
  - greater wear and tear on the landscape's infrastructure may occur;
  - the chances of damage (both accidental and deliberate) to heritage features will be increased;
  - any increases in professional dog walking, and dog walking generally, could escalate the dog fouling problem with negative impacts on other activities (and with health & safety problems).
- 6.38 Cammo Estate represents a sizeable area with an extensive access network, topographic variety, spatial enclosure from woodlands, and areas of differing character. This determines that the Estate should be capable of 'absorbing' considerable numbers of visitors at one time without appearing crowded. The different character areas and levels of spatial containment within the designed landscape also present opportunities to accommodate a range of activities discretely.
- 6.39 The anticipated increase in visitors following completion of the proposed housing scheme in the adjacent area provides an added justification for the improvement and restoration of the access network and other features of the landscape, which will increase the site's capability to accommodate visitors and new park users.

### **Risks & Opportunities associated with Management**

- 6.40 The land ownership and management of Cammo Estate is by the City of Edinburgh Council. As with most local authorities, resources and budgets are restricted and this may present constraints to future management at Cammo, particularly if new facilities require additional resources.
- 6.41 It is possible that additional staff resources, and new skills will be required if new facilities are developed e.g. at the Stables or within the Walled Garden, and if the programme of Activities within the Estate is extended. These subjects are addressed further within Outline Management & Maintenance and Outline Activity Plan sections of this report.
- 6.42 This project provides an opportunity to review and revise the management arrangements, at Cammo Estate. Such changes should allow the maintenance of the landscape and its structures to be tailored to accommodate any new developments and to assist in obtain Green Flag Status.

# 7 Conservation Policies

## Conservation

- 7.1 This section of the document sets out the conservation policies for Cammo Estate. In accordance with HLF guidance this addresses conservation requirements, new works and access. Aims and objectives for management and maintenance are covered separately within Chapter 10.
- 7.2 The following aims and objectives respond directly to the conservation needs, significance; risks and opportunities identified in the earlier chapters. Firstly this chapter defines overarching Guiding Principles which have been agreed with the City of Edinburgh Council and the key stakeholders. The remainder of this section sets objectives for the following subjects:
- Conservation;
  - New work;
  - Access;
  - Climate change;
  - Effects on Environment;
  - Managing Information.

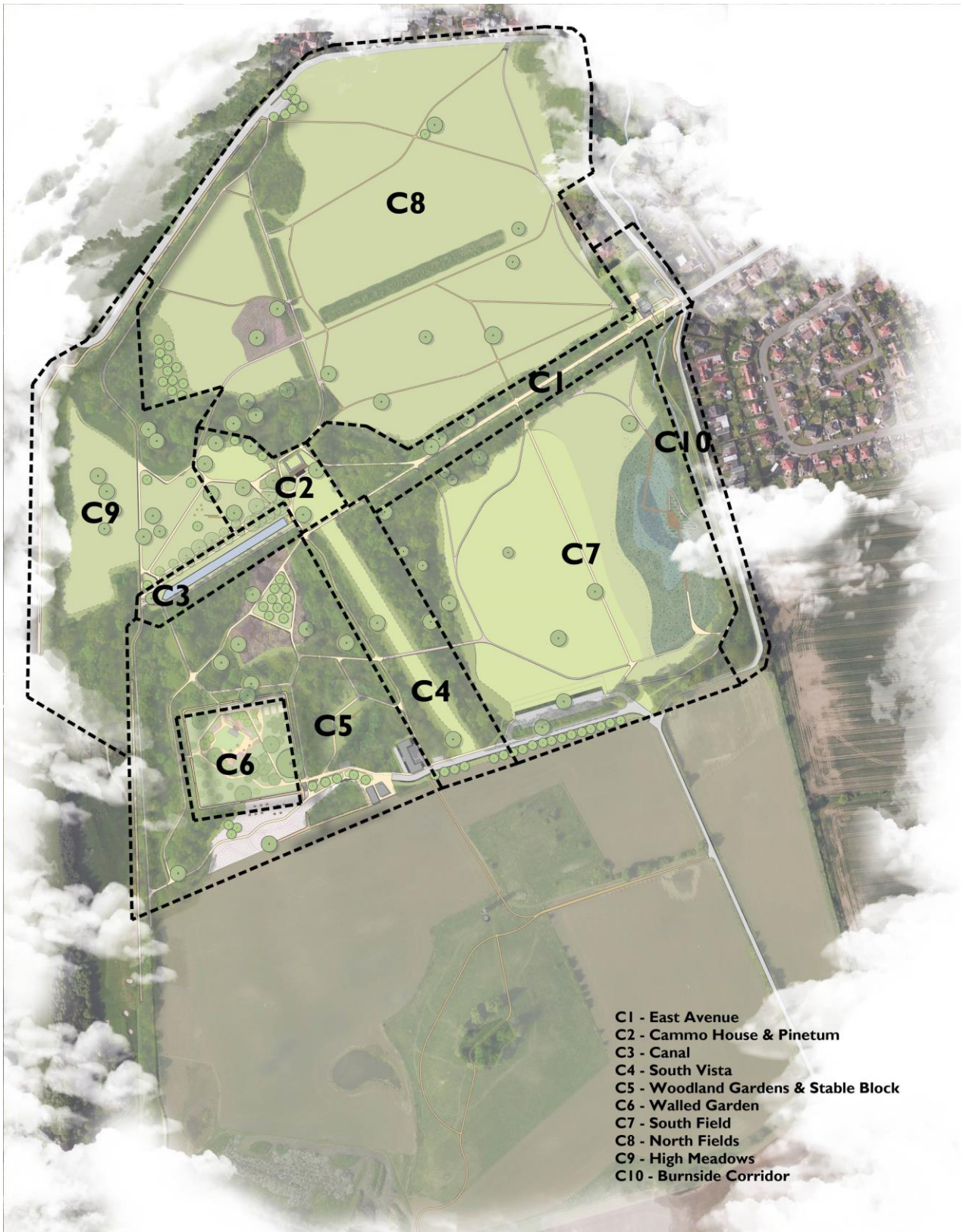
## Guiding Principles

**Table 7.1: Guiding Principles/ Aims**

Ref	Aim
A1	The Cammo designed landscape was initially laid out in the early 18 <sup>th</sup> century by Sir John Clerk, but has subsequently been altered and made more informal by the interventions of landlords during the late 18 <sup>th</sup> and 19 <sup>th</sup> centuries. During the 20 <sup>th</sup> century the Estate was subject to some questionable management and neglect for a considerable period, and the condition of today's landscape is the result of this mixed succession, which has seen overall a loss of integrity and clarity in the spatial patterns. An essential conservation aim for the designed landscape as a whole is consequently the protection and restoration of the remaining 18 <sup>th</sup> century spatial patterns, and the associated views within the Estate. This implies a long term programme of management which aims to conserve and reinforce historic spatial patterns and views where they have been eroded by inappropriate plantings, tree losses or the encroachment of self-seeded vegetation.
A2	The Council aims to repair those elements of the designed landscape in need of restoration with particular emphasis on the conservation of historic structures which are important features of the landscape. This includes finding positive uses for the remaining buildings and structures, to make them more meaningful and useful, and to preserve them as landmarks.
A3	The Council aims to conserve and enhance ecological significance and interest within Cammo Estate, reinforcing its status and educational values as a Local Nature Reserve, while respecting its cultural heritage significance. Any adaptations of the designed



Ref	Aim
	landscape to suit nature conservation objectives should therefore be compatible with the conservation of the built/ cultural heritage. This aim implies potential local changes to landscape management regimes and possible obligations / restrictions to dog access in sensitive areas eg within vegetable/food growing plots.
A4	The Council aims to improve facilities for visitors and the local community while respecting the strongly held views that the Estate should retain its rural character and not be 'urbanised' by new developments. New facilities should however aim to extend the range of activities possible within the Estate e.g. for education, recreation and participation. Any new developments will be sensitively sited and designed in a way which ensures that they have no adverse impact on the designed landscape. New features with no historic precedent should be recognisably of contemporary design (not pastiche) but sympathetic to the character of the designed landscape.
A5	The Council aims to improve accessibility and the condition of the access network in a strategic manner that facilitates access for the disabled and less able while retaining informal characteristics in the majority of the Estate. This acknowledges the importance of the access network as part of the designed landscape, and its ability to allow visitors to experience the different characteristics and views sequentially. Associated with this aim is combatting dog fouling which is a constraint to access and recreation.
A6	The Council aims to improve visitor management and increase educational potential through enhancements to access and provision of orientation and interpretation facilities. Care will be taken to ensure that such measures do not compromise opportunities for exploration and adventure in the Estate.
A7	The Council aims to work closely with the local community, the Friends of Cammo and other stakeholders in order to allow participation by user groups and interest groups in the management of the Estate, and to thereby maximize participation in Cammo's heritage, whilst safeguarding the qualities valued by the community and wider audience.
A8	The Council aims to undertake restoration work utilising appropriate expertise and high quality materials matching those originally used.
A9	The Council aims to undertake conservation, development and maintenance work in a manner that applies sustainability principles to the specification of materials, use of machinery, waste disposal etc.



**Figure 7-1: Zoning Diagram**

## Conservation Objectives by Zone

7.3 The following tables summarise how the above the above aims translate to the landscape zones defined on Figure 7-1. For each zone objectives are outlined and a justification provided.

<b>C1: East Avenue</b>	
<b>Objectives</b>	<ul style="list-style-type: none"> <li>• Selectively thin the woodland belt to improve intervisibility/ sunlight penetration and to restore some of the lost formality of the Avenue.</li> <li>• Improve avenue hard standing as main access route suitable for all users</li> <li>• Improve and manage understorey for biodiversity and amenity</li> <li>• Refurbish historic entrance structures</li> <li>• Improve entrance signage &amp; interpretation</li> <li>• Refurbish Lodge House interior &amp; interpretation</li> </ul>
<b>Justification</b>	<ul style="list-style-type: none"> <li>• The Avenue corridor is currently oppressive and allows limited views to the adjacent fields; sapling and self-seeded trees are obscuring the historic lines of Avenue trees and are limiting the potential for ground flora;</li> <li>• The East Avenue represents the main approach to Cammo House and sets the first impressions for many visitors; it consequently deserves better quality infrastructure, signage and furniture;</li> <li>• The Lodge House is an important focus for visitor activities, interpretation and for Estate management; its interior and associated facilities are however 'tired' and require up-dating and upgrading</li> </ul>

<b>C2: Cammo House &amp; Pinetum</b>	
<b>Objectives</b>	<ul style="list-style-type: none"> <li>• Improve the setting of the former Cammo House with selective clearance of trees and scrub that currently block views;</li> <li>• remodelling of the ground level bund and steps to improve the relationship between the House ruin and the forecourt area, and provide opportunities for theatrical uses of the ruins;</li> <li>• local interpretation of Cammo House;</li> <li>• restoration of the formal terrace (remnant of the former ornamental garden) to allow its use a viewing terrace/ seating area with interpretation of the Pinetum;</li> <li>• positive management and restocking of the Pinetum with exotic specimens;</li> </ul>

## C2: Cammo House & Pinetum

### **Justification**

- The remaining ruin of Cammo House would be enhanced and made more meaningful if its makeshift bund and steps were modified to facilitate access and to allow the ruin to serve new uses e.g. as backdrop for theatrical events;
- The Cammo House area has lost the majority of its former buildings and site based interpretation would help visitors to understand the remaining ruins and their historical context;
- The formal terrace and inclined lawn currently appear as an anomaly due to the loss of the former gardens and adjoining structures. It would therefore be helpful to interpret its original function and utilise the area for amenity (seating and viewing);
- The clearance of shrubs and selected trees will help open up views both to and from the house;
- The Pinetum has suffered some tree losses recently and there is a need to restock and enhance this feature;

## C3: Canal ( Scheduled Monument 6440)

### **Objectives**

- Further restoration of the canal banks to remove scrub growth and reinstate as a formal feature with grassed embankments;
- Reinstatement of the pavilion as a terminus feature with potential uses as a shelter or kiosk;
- Restore tree avenues and paths along the sides of the canal corridor;

### **Justification**

- The canal is formal landscape feature, contemporary with those at nearby Newliston and Mavisbank (and numerous others, which are lawn edged water bodies intended for reflections);
- Reinstatement of the lost Pavilion would assist in the interpretation of the canal and help to re-establish the axial visual relation with the East Avenue;
- A number of avenue trees have been lost from the canalside area and reinstatement of formal tree planting would help to restore the axial framework;
- The canalside footpaths are uneven and partially blocked by vegetation making access difficult.

<b>C4:South Vista</b>	
<b>Objectives</b>	<ul style="list-style-type: none"> <li>• Reinstatement of the South Vista through selective tree clearance and tree surgery to widen and redefine the historic grass corridor to the south of Cammo House;</li> <li>• Management of the South Vista grassland to reinforce the axis e.g. with central amenity grass corridor and meadow / bulb planted margins;</li> <li>• Accommodate and rationalise cross paths.</li> </ul>
<b>Justification</b>	<ul style="list-style-type: none"> <li>• Woodland on each side of the South Vista is a replacement for the original formal tree lines established by Sir John Clerk, of which only a few trees remain. It has encroached on the vista making it less legible, and in parts, threatening to block the view;</li> <li>• There is potential to reinforce the vista and add landscape / biodiversity interest through modifying the management of the grass corridor.</li> <li>• There is a need to rationalise and improve established desire lines paths which cross the South Vista in order to create connectivity but avoid unnecessary tracks.</li> </ul>

## C5:Woodland Gardens and Stable Block

### **Objectives**

- Develop the Woodland Gardens as the main focus for visitor access, activities and associated facilities, to allow the remainder of the Estate to have more low-key rural uses and character.
- Future restoration and development of the Stable Block for Estate visitor facilities, hub for activities and management base for CEC (subject to future funding)
- Improve visitor access infrastructure and develop parking facilities to serve the new facilities in the Walled Garden, adjacent woodland areas and ultimately in the restored Stable Block;
- Develop woodland play facilities readily accessible from the Walled Garden ( and the Stable Block);
- Stabilise the former steading / piggery ruins and utilise for activities e.g. outdoor education; temporary art installations, viewpoint/ picnic area etc.
- Woodland management and reinstatement of Larches within the larch Meadow area;
- Improvements to path network to serve the new/ restored features.

### **Justification**

- The existing but ruined structures within this zone provide opportunities to accommodate new facilities and activities, while justifying their restoration.
- This zone provides the opportunity to accommodate new activities and facilities in a discrete and localised manner in the southern part of the Estate, with enclosure by woodlands. This allows vehicular access to be localised, and the majority of the Estate to the north to be kept quiet and rural in character.
- The proximity of the Walled Garden, Stable Block and Steading allow them to be developed in the longer term as interlinked facilities with shared access;
- The Woodland provides opportunities for the integration of play facilities with minimal impacts on the landscape.

<b>C6:Walled Garden</b>	
<b><i>Objectives</i></b>	<ul style="list-style-type: none"> <li>• Restoration and development of the Walled Garden for multiple purposes within a secure environment;</li> <li>• Development of new outdoor education facilities and focus for activities within the Estate;</li> <li>• Development of new demonstration gardens and feature areas;</li> <li>• Retention and enhancement of wildlife garden areas, retaining significant areas of snowdrops and several of the veteran willow trees.</li> </ul>
<b><i>Justification</i></b>	<ul style="list-style-type: none"> <li>• The Walled Garden provides a large enclosed site with an individual character capable of accommodating new activities without impacting on the remainder of the Estate;</li> <li>• The history of the Walled Garden as a productive facility provides a wide range of opportunities for horticultural education and interpretation;</li> <li>• The presence of deep, long-cultivated soils and the protected micro-climate within the Walled Garden provides an environment suitable for horticultural uses (and amenity).</li> </ul>

C7:South Field	
<b>Objectives</b>	<ul style="list-style-type: none"> <li>• Development of a new car park at the southern edge of the field, accessible from Oak Avenue and Cammo Walk</li> <li>• The development of the western half of South Field, as a space for outdoor events and recreation, accessible from Oak Avenue , and new car park , in relative proximity to the Stable Block and Walled ;</li> <li>• Restoration of the lost Cammo Walk axis across the South Field to link with the East Avenue;</li> <li>• Development of the low lying part of the South Field as a water body and wetland area, potentially involving connections to the Bughtlin Burn</li> <li>• Development of boardwalk and connecting paths across the new wetland areas.</li> </ul>
<b>Justification</b>	<ul style="list-style-type: none"> <li>• Development/ management of an amenity grass area for passive recreation and periodic events could complement developments in Zones 5 and 6 (Woodland Gardens and Walled Garden) and extend the range of activities within the Estate.</li> <li>• Provision of a car park and an events area in the South Field would retain the northern half of the Estate for quieter activities and nature conservation.</li> <li>• Development of a new water body/wetland area would offer increased biodiversity and aesthetic interest.</li> </ul>

C8:North Fields	
<b>Objectives</b>	<ul style="list-style-type: none"> <li>• Management of the North Fields for nature conservation while respecting the historic spatial patterns of the designed landscape;</li> <li>• Planting of parkland specimen trees as future replacements for the remaining veteran trees;</li> <li>• Rationalising desire line paths and improving the condition and alignment of those retained;</li> </ul>
<b>Justification</b>	<ul style="list-style-type: none"> <li>• The North Fields Zone represents a substantial proportion of the estate and is currently being managed for biodiversity. Continuation of this approach would be complementary to the concentration of visitor facilities and activities in the southern half of the Estate;</li> <li>• The historic spatial structure and access routes have been compromised during the 20<sup>th</sup> century and there is scope to restore and respect these patterns in future management.</li> </ul>



<b>C9:High Meadows</b>	
<b>Objectives</b>	<ul style="list-style-type: none"> <li>• Management of the High Meadows for nature conservation while accommodating adventurous recreational activities in the steeply sloping ground (such as orienteering);</li> <li>• Restoration of the boundary walls;</li> <li>• Management of the woodland and care of the many old and veteran trees;</li> <li>• Remedial works to paths in sloping areas affected by scour / erosion.</li> </ul>
<b>Justification</b>	<ul style="list-style-type: none"> <li>• The High Meadows are less trafficked than other areas due to the topography making this zone a quieter area for wildlife, with established woodland cover. These qualities should be protected whilst ensuring the condition of the structures, paths and woodland are in good order.</li> <li>• The 'wilder' character of this zone makes it appealing for exploration and more adventurous activities which can be accommodated without significant new facilities.</li> </ul>

<b>C10:Burnside Corridor</b>	
<b>Objectives</b>	<ul style="list-style-type: none"> <li>• Improvements to the amenity and biodiversity of the burn corridor through modifications to the channel alignment, profile and edge treatments</li> <li>• Improvements to the footpath routes through this zone with potential for new bridges and viewpoints.</li> </ul>
<b>Justification</b>	<ul style="list-style-type: none"> <li>• The route is heavily used, particularly with dog walkers. Dogs and walkers alike seem to step down into the burn which, along with time, has caused erosion on the banks of the burn</li> </ul>

## New Work

### Requirements for new facilities

7.4 As part of this study consultations and community engagement has been undertaken to identify demands for new facilities, as well as conservation priorities within Cammo Estate. The findings of this work are reported in Chapter 8 (Outline Activity Plan) and have been used to inform the Outline Masterplan. The following requirements have been identified and the cost plan includes for their provision:

- Additional Car Parking;
- Play facilities;
- Wetland and boardwalk area;
- Toilets;
- Catering facilities;

- Orientation signage & waymarkers.
- Interpretive signage/ installations.
- Seats/ picnic facilities/ shelter.
- Outdoor Events space (s).

7.5 In addition to the above potential uses for the existing buildings and walled garden have been identified and these have informed initial proposals for the Stable Block, Steading ruin, Walled Garden and Canal Pavilion.

<b>N1: Additional Car Parking Facilities and associated upgrade of drives</b>	
<b>Objectives</b>	<ul style="list-style-type: none"> <li>• To increase the capacity of car parks at Cammo and to allow essential vehicular access for the disabled, parents and children and for servicing to new developments in the estate. Minimising the impact of vehicle movements and parked cars on the wider designed landscape is also an imperative.</li> </ul>
<b>Justification</b>	<ul style="list-style-type: none"> <li>• The existing car park at the Cammo Walk entrance is small and awkwardly shaped making it inefficient and inadequate for the demand from visitors. The community consultation has identified additional car parking as a priority item, together with the localised provision of parking for the disabled. The proposed site for the Estate’s main car park is in the southern area of South Field, near to the current parking and entrance. With proposed screening to the north and Oak Avenue to the south, the parking would be discrete with limited impact on the remainder of the Estate. This arrangement would limit vehicular movements to the southern edge of the Estate leaving the majority of the landscape free of vehicles and with pedestrian dominance.</li> <li>• A small secondary car park is also proposed in the North Field where it could resolve informal parking pressures and provide a facility on the north side of the Estate.</li> <li>• Parking options have been subject to community consultation and the proposals for the South and North Fields were identified as the preferred options</li> </ul>
<b>Impact on the Heritage</b>	<ul style="list-style-type: none"> <li>• Access to the proposed Main car park in the South Field would utilise an established entrance and drive. It would be linear and narrow, thereby limiting its impact on the South Field, and would be screened by the Oak Avenue planting, and a new hedgerow boundary along its northern side. Car park construction within the open ground of South Field would avoid the loss of trees on Oak Avenue.</li> <li>• The development of a small car park in North Field would have localised visual impacts, but the enclosure of the car park by hedgerow would minimise this impact. Its small scale would prevent any significant impact on natural or built heritage assets.</li> <li>• The servicing of developments at the Walled Garden (and potentially at the Stable Block in the future) would require improvements to the road surface along Oak Avenue and the localised provision of disabled parking spaces close to the Walled Garden. Improvements to the existing road may require the removal of self-seeded trees growing close to the carriageway. This would help to restore the historic</li> </ul>

<b>N1: Additional Car Parking Facilities and associated upgrade of drives</b>	
	<p>spatial patterns of the avenue and improve inter-visibility. The road surface improvements would benefit accessibility for all users. The location and extent of disabled parking spaces would be selected to avoid impacts on heritage features.</p>

<b>N2: New Play Facilities</b>	
<b>Objectives</b>	<ul style="list-style-type: none"> <li>To provide new play facilities for both small children and older children up to c.16 years.</li> <li>To consider how interpretive themes could be incorporated within the play facility designs.</li> </ul>
<b>Justification</b>	<ul style="list-style-type: none"> <li>Public consultation has identified the demand for play facilities within the Estate and these are seen as important new attractions capable of widening the appeal of the site to children and parents.</li> <li>To increase the enjoyment of the Place for children and their families.</li> <li>The tree cover within the Woodlands provides an interesting site with 'natural play' opportunities, visual containment and with easy access from the main paths, the Walled Garden and proposed new car park.</li> <li>The development of small natural play areas elsewhere within the Estate is also possible and could help to dissipate visitors and encourage exploration of the landscape.</li> </ul>
<b>Impact on the Heritage</b>	<ul style="list-style-type: none"> <li>The Woodland area around the Walled Garden has no known archaeological interest and the tree cover provides potential for visual containment and for using the trees as structural components – thereby minimising interventions. Small localised play installations elsewhere in the Estate would be sited and designed to avoid intrusion and heritage impacts.</li> </ul>

<b>N3: New Pavilion at the canal</b>	
<b>Objectives</b>	<ul style="list-style-type: none"> <li>To provide a pavilion at the eastern terminus of the canals, capable of providing shelter, or serving as an interpretation point within the landscape.</li> </ul>
<b>Justification</b>	<ul style="list-style-type: none"> <li>There is a precedent of a pavilion in this location, and part of the foundation structure remains; this site provides an opportunity to reinstate an architectural feature on axis with the Main Drive, which will also be functional and help interpret the canal as an ornamental feature.</li> <li>The location of the pavilion would allow it to serve as a potential temporary kiosk for events at the Cammo House forecourt</li> <li>A pavilion in this location would provide a useful resting place and would command views along the canal and over the ruins of Cammo House.</li> </ul>

<b>N3: New Pavilion at the canal</b>	
<b>Impact on the Heritage</b>	<ul style="list-style-type: none"> <li>The introduction of this contemporary structure in the canal terminus area will require additional research and archaeological investigation to assess the format and of the original structure and its foundations. The new structure will also have to be sensitively designed to fit the context of this strategic site.</li> </ul>

<b>N4: New Signage</b>	
<b>Objectives</b>	<ul style="list-style-type: none"> <li>To improve the information provision for visitors to Cammo Estate, including orientation, wayfinding and interpretation.</li> <li>To reinforce the identity of Cammo Estate and convey its essential characteristics as an LNR and designed landscape;</li> <li>To avoid visual clutter of signs, and to site strategically in order to minimise intrusion within the designed landscape.</li> </ul>
<b>Justification</b>	<ul style="list-style-type: none"> <li>The development of new facilities and the restoration of the Stable Block and Walled Garden present an opportunity to review the signage within the Estate. There is also a need for more effective orientation at key entrances and wayfinding generally, although the latter should not be excessive otherwise it will compromise the ability to explore the Estate.</li> </ul>
<b>Impact on the Heritage</b>	<ul style="list-style-type: none"> <li>A new suite of signs will replace the existing and should result in more harmonious and sensitive signage overall.</li> <li>New signs will be coordinated and well designed to fit the character of the landscape; they will be carefully sited to avoid intrusion in sensitive areas.</li> </ul>

<b>N6: New Furniture</b>	
<b>Objectives</b>	<ul style="list-style-type: none"> <li>To provide new well designed furniture which is sympathetic to the character of the designed landscape.</li> <li>To improve appreciation of the designed landscape for visitors.</li> <li>To improve provisions for resting along the path network.</li> <li>To involve local craftsmen in furniture manufacture.</li> </ul>
<b>Justification</b>	<ul style="list-style-type: none"> <li>There is little furniture within the Estate and there is a need to increase furniture numbers to meet visitor demands for resting and passive recreation. Existing furniture is of variable quality with no consistency</li> </ul>
<b>Impact on the Heritage</b>	<ul style="list-style-type: none"> <li>The new furniture would be of high quality and durable. The designs will correspond to the character of the Cammo Estate landscape.</li> </ul>

<b>N7: New Services Infrastructure</b>	
<b>Objectives</b>	<ul style="list-style-type: none"> <li>To provide new underground services infrastructure for developments within the Estate, specifically at the Stables and Walled Garden and potentially for the servicing of outdoor events.</li> <li>To install services along routes which avoid damage to the heritage of the Estate.</li> <li>To provide services that take account of potential future demands and which can be readily maintained and upgraded in the future.</li> </ul>
<b>Justification</b>	<ul style="list-style-type: none"> <li>There are few services within the Estate and those remaining are historic and not suitable for new developments. This determines that new services infrastructure will be required, likely to include water, electricity and sewage / drainage.</li> </ul>
<b>Impact on the Heritage</b>	<ul style="list-style-type: none"> <li>The new services would be introduced under existing roads during road surface improvement works, and this would minimise disturbance of the landscape.</li> </ul>

## Access

- 7.6 Cammo Estate has an extensive access network comprising metalled drives, gravel surfaced drives and paths, and earth/grass surfaced desire line paths. Together these allow exploration and circulation of the Estate, with the capacity for different routes and circuits to be taken, and for different activities to be distributed across the Estate. The impending development of new housing adjacent to Cammo will see an increase in visitors and this necessitates that the access infrastructure is capable of accommodating future levels and types of use, and that there are efficient and safe access connections to Cammo from adjacent areas.
- 7.7 Zonal Conservation Policies discuss a number of the Access proposals but in summary the Access Aims for the Estate as a whole are as follows;
- To improve physical conditions and facilitate access for all levels of mobility within the Estate, without detriment to the heritage and historic character of the designed landscape;
  - To accommodate future requirements for access connections with adjacent housing areas, the local access and greenspace networks and with public transport facilities;
  - To improve facilities for education and interpretation in ways which are also sympathetic to the historic character of the Estate, in so doing increase the audience's understanding and appreciation of the place.
  - To improve the arrival experience for visitors and the effectiveness of signage throughout the Estate.
  - To minimise the impact of motorised vehicles within the designed landscape whilst providing essential access to new facilities, for servicing, maintenance and access for the disabled.

- To offer advice for different types of park visitor: pedestrians; dog walkers; professional dog walkers; cyclists; and potentially equestrians.

7.8 The above Aims can be translated to the following Access Objectives.

<b>A1: Access: General</b>	
<b>Objectives</b>	<ul style="list-style-type: none"> <li>• To improve and restore the access network within the Estate in a hierarchical manner that respects the history of the place, the current character of the landscape, and the previous functions of the roads, drives and paths.</li> <li>• To improve the quality of access routes for all users and to facilitate access by the disabled and less mobile to the main facilities and attractions in the Estate;</li> <li>• To protect and reinstate areas of stone pavement in feature areas e.g. at the Stable Block and Cammo House curtilages;</li> <li>• To restore metalled surfaces to the main access routes, ensuring they are capable of withstanding the anticipated pedestrian and vehicular traffic ;</li> <li>• To utilise un-metalled (water-bound aggregate) surfaces for secondary paths, thereby retaining the informality of the site.</li> <li>• To improve drainage conditions along all routes to facilitate access and prevent degradation of surfaces;</li> <li>• To rationalise and re-align desire line paths where practicable to avoid unnecessary scarring of the landscape.</li> </ul>
<b>Justification</b>	<ul style="list-style-type: none"> <li>• The existing access infrastructure is in declining condition and will become unfit for purpose unless proactive measures are taken. The scale of the access network and the differing character of the routes determine that a prioritised and cost effective solution is applied.</li> <li>• Moreover there is a core path designated through the Cammo Estate and should be fit for purpose</li> </ul>
<b>Impact on the Heritage</b>	<ul style="list-style-type: none"> <li>• The improvements to the access network would be predominantly along the historic routes thereby minimising heritage impacts. Historic stone pavements would be protected and used to inform the design of new stone pavements where needed. In places it will be necessary to widen the existing access routes to their original width and this may require the removal of self-seeded trees and scrub growing close to the paths/ roads. This process should help to restore the spatial qualities and view lines along these routes, in accordance with the historic design intentions.</li> </ul>

<b>A2: Access: Vehicular</b>	
<b>Objectives</b>	<ul style="list-style-type: none"> <li>• To accommodate essential vehicular access for servicing of new facilities; for access to parking areas, and for maintenance operations. This should be restricted to specific routes in order to avoid conflicts</li> </ul>

A2: Access: Vehicular	
	<p>with pedestrians and to minimise the impacts of vehicles in the Estate.</p> <ul style="list-style-type: none"> <li>• To concentrate visitor traffic and parking on and adjacent to Oak Avenue/ southern boundary of the CEC owned area, thereby leaving the majority of the Estate free of vehicles.</li> <li>• To remove the existing Cammo Walk/ Oak Avenue car park , and create a distinctive entrance to the Estate in its place.</li> <li>• To provide a new visitor car park in the southern area of South Field to serve the new facilities in this area ( as under N1 above)</li> <li>• To provide or enhance small parking facilities at North Gate car park where informal parking regularly occurs.</li> </ul>
<b>Justification</b>	<ul style="list-style-type: none"> <li>• The restoration and development of the Walled Garden and adjacent areas for visitor facilities will require limited vehicular access for servicing and disabled parking. Oak Avenue could accommodate vehicular access without impacting on the majority of the Estate landscape. The low levels of traffic involved would not impact on the pedestrian priority within the Estate.</li> <li>• The existing car park at the Cammo Walk entrance is inadequate for the current and future demand from visitors. It is also poorly conceived and presents a negative first impression of the Estate. The proposed site for the main car park in South Field combined with screening will be discrete and will result in limited impact on the remainder of the Estate. A formalisation of the parking at North Gate will make this safer</li> </ul>
<b>Impact on the Heritage</b>	<ul style="list-style-type: none"> <li>• Vehicular access using primarily Oak Avenue would utilise an established drive without the need for a new road. The proposed main car park site in South Field would occupy an area on the edge of the designed landscape, thereby minimising impacts on the majority of the Estate to the north. Allowing ingress and egress directly from the new car park would minimise traffic on Oak Avenue. The preliminary design for the Main Car park would allow effective screening and integration with the adjacent tree belts on Oak Avenue, and would allow segregation by boundary hedge planting with biodiversity benefits.</li> </ul>

A3: Trail Development	
<b>Objectives</b>	<ul style="list-style-type: none"> <li>• To promote trails with associated interpretation for educational and entertainment purposes helping to increase the visitors understanding /appreciation of Cammo Estate.</li> </ul>
<b>Justification</b>	<ul style="list-style-type: none"> <li>• Trails which are guided, self-guided and potentially signed could engage a wide range of Estate users and visitors of all ages, and to assist in appreciation of the natural and cultural heritage.</li> </ul>
<b>Impact on the Heritage</b>	<ul style="list-style-type: none"> <li>• If sensitively designed and carefully sited, interpretive features should not have a detrimental impact on the appearance of the Cammo</li> </ul>

<b>A3: Trail Development</b>	
	landscape, but should help visitors to understand and appreciate the heritage.

<b>A4: Facilities for the Disabled &amp; Sensory Deprived</b>	
<b>Objectives</b>	<ul style="list-style-type: none"> <li>To improve accessibility and associated facilities for the disabled and less mobile.</li> <li>To better inform visitors about accessibility issues and provide appropriate guidance eg regarding routes, circuits and resting points.</li> <li>To introduce new facilities and horticultural features in the Walled Gardens (e.g. scented, textural and edible plants) for the enjoyment of the visually impaired as well as others.</li> </ul>
<b>Justification</b>	<ul style="list-style-type: none"> <li>There is scope to make a number of localised improvements to remove access constraints and to better inform visitors about accessibility generally; this will enable the Estate to be well utilised by visitors with all levels of accessibility.</li> <li>The designed landscape in its current condition contains relatively little scented /flowering and tactile vegetation that is readily accessible. The restoration of the Walled Garden provides an opportunity for the introduction of greater horticultural diversity in an accessible environment, where the blind and partially sighted could experience plants from the path network.</li> </ul>
<b>Impact on the Heritage</b>	<ul style="list-style-type: none"> <li>While there are opportunities throughout the Estate to enhance biodiversity and horticultural interest, the restoration of the Walled Garden in particular will provide ideal opportunities to cater for sensory deprived visitors in a focussed manner.</li> </ul>

## Climate Change & Effects on the Environment

- 7.9 The effects of Climate Change are becoming increasingly evident, and are impacting on the environment in numerous ways. This places an obligation on landowners to manage their assets in a sustainable way which is mindful of the changing climate and the associated impacts on the landscape and vegetation. For Cammo the following objectives have been identified as particularly relevant.

<b>E1: Sustainable Maintenance:</b>	
<b>Objectives</b>	<ul style="list-style-type: none"> <li>To apply sustainability best practice in all maintenance operations with careful consideration given to the source of materials, efficiency of equipment, plant provenance, recycling, minimised haulage and local employment.</li> </ul>
<b>Justification</b>	<ul style="list-style-type: none"> <li>The future maintenance operations at Cammo Estate will have to comply with the Management &amp; Maintenance Policies of the City of Edinburgh Council ie demonstrating sustainability, combined with cost</li> </ul>



<b>E1: Sustainable Maintenance:</b>	
	efficiency with quality over the long term.
<b>Impact on the Heritage</b>	<ul style="list-style-type: none"> <li>A sustainable approach to maintenance will protect the biodiversity of the Local Nature Reserve and minimise climate change effects through the careful use of resources.</li> </ul>

<b>E2: Materials Selection</b>	
<b>Objectives</b>	<ul style="list-style-type: none"> <li>To utilise locally available and traditionally used materials, and UK/ Scottish provenance plant materials whenever possible.</li> </ul>
<b>Justification</b>	<ul style="list-style-type: none"> <li>This approach will avoid the inappropriate use of exotic materials and minimise haulage distances / costs and environmental impacts.</li> </ul>
<b>Impact on the Heritage</b>	<ul style="list-style-type: none"> <li>The use of traditional materials will be necessary or appropriate for conservation work in order to match the historic construction methods or native plant selections for biodiversity enhancements.</li> </ul>

<b>E3: Monitoring for Disease</b>	
<b>Objectives</b>	<ul style="list-style-type: none"> <li>To identify any new tree / plant diseases appearing at Cammo Estate as a result of climate change or other factors.</li> <li>To encourage and if necessary enforce responsible dog walking within the Estate to reduce and ideally eliminate dog fouling which is potentially detrimental to the health of park users</li> </ul>
<b>Justification</b>	<ul style="list-style-type: none"> <li>This approach will enable pre-emptive and corrective actions to be taken which will help to minimise adverse impacts on the Estate.</li> </ul>
<b>Impact on the Heritage</b>	<ul style="list-style-type: none"> <li>New plant diseases could potentially accelerate the loss of mature and veteran trees with significant impacts on the character and biodiversity of the landscape.</li> </ul>

<b>E4: Surface Water Management</b>	
<b>Objectives</b>	<ul style="list-style-type: none"> <li>To explore how the low lying areas of Cammo Estate might serve for surface water management , simultaneously providing new wetland/ water habitats for wildlife</li> </ul>
<b>Justification</b>	<ul style="list-style-type: none"> <li>The lowest areas of the South Field are already subject to waterlogging and are within the flood plain of the Bughtlin Burn; this would facilitate the development of new wetlands that could also have benefits for</li> </ul>

<b>E4: Surface Water Management</b>	
	surface water management and biodiversity.
<b>Impact on the Heritage</b>	<ul style="list-style-type: none"> <li>The low lying area of South Field has no known archaeological interest.</li> </ul>

## Managing Information

7.10 The City of Edinburgh Council has undertaken numerous surveys and studies for Cammo Estate over the last 20 years. This represents a valuable source of information which should be retained for future reference, and as baseline data for monitoring change. There remain however requirements for further research and investigations, and ongoing monitoring which will add to the existing database, and inform future management operations. The aims for Cammo in relation to Information Management can therefore be summarised as follows:

- To undertake conservation and maintenance work informed and guided by a detailed knowledge of the heritage.
- To continue to gain and disseminate knowledge about the Cammo Estate landscape and its earlier history.
- To effectively protect, catalogue, store and maintain (physically and electronically) information about the heritage of Cammo Estate.

7.11 The following objectives have been identified for Managing Information.

<b>M1: Information Storage and Management</b>	
<b>Objectives</b>	<ul style="list-style-type: none"> <li>To develop an electronic database of heritage information about the Cammo Estate landscape accessible by internet.</li> <li>To designate a data manager within CEC who has responsibility for Cammo material.</li> </ul>

<b>M2: Future Research Programme</b>	
<b>Objectives</b>	<ul style="list-style-type: none"> <li>To continue to support volunteer research programmes for specific subjects (e.g. archaeological surveys; tree and biodiversity surveys).</li> <li>To facilitate and encourage research by academics, students and specialists into Cammo Estate and its earlier history.</li> </ul>

<b>M3: Information Dissemination</b>	
<b>Objectives</b>	<ul style="list-style-type: none"> <li>To utilise the CEC website with links to all completed research and notification of on-going work.</li> <li>To support Forestry and Natural Heritage (FNH) and Friends of Cammo (FoC) in the continued production of newsletters and publications relating to Cammo;</li> </ul>

### M3: Information Dissemination

- To exhibit selected research findings in the Cammo Lodge, and in the future restored Stable Block.

## Masterplan

7.12 The above Policies and Objectives are reflected in the composition of the Masterplan (Fig 6.1). This also responds to the aspirations of the local community and the Friends Group. In summary the Masterplan proposes a combination of 'Conservation' and 'New Work'. These include the following measures.

7.13 **Conservation:**

- Restoration of the Walled Garden walls and gateways
- Consolidation and protection of the Stable Block ruin, to allow future restoration
- Stabilisation of the Steading ruins and Cammo House ruin;
- Repairs and restoration of boundary walls and masonry structures ;
- Restoration of the pavilion at the head of the canal;
- Repairs and restoration of the footpath and drives;
- Drainage remedial works;
- Woodland management and restructuring to restore historic views and spatial structure;
- Pinetum management and continued restoration;
- Biodiversity conservation measures

7.14 **New Work:**

- Development of new garden areas and education/ horticultural building in the Walled Garden, including paths hard standings and fencing;
- Conversion of the Lodge House to a café/ tea room and visitor facility with interpretation ;
- New car parks within the South Field and North Field with associated paths and hedgerow enclosures;
- New wetland area /open water body with boardwalk in the South Field;
- New play facilities within the woodland;
- Enhancements to the Cammo House forecourt and embankment incorporating new steps and platform at front door;
- New furniture and signs (gateway, waymarkers and interpretation).

## Capital cost assessment for Conservation & New Work

**Table 7.2**

DESCRIPTION	UNIT	QUANTITY	RATE	TOTAL
<b>CONSERVATION ITEMS (excluding Walled garden)</b>				
<b>Walls and Structures</b>				
Repairs to boundary walls (average height 3m) (470 Lm) assume 10% repair	l/m	47	£500.00	£23,500.00
Stabilisation of the Stable Block building (310m2)	sum	1	£50,000.00	£50,000.00
Stabilisation of the Steading and Piggery ruins	sum	1	£10,000.00	£10,000.00
Conservation of wall in Pinetum (average height 1m) including replacement of feature pineapples	l/m	20	£200.00	£4,000.00
Conservation to Canal and canal bank clearance/ grassing	m2	3000	£10.00	£30,000.00
Restoration of the Pavilion to the Canal	sum	1	£30,000.00	£30,000.00
<b>Paths &amp; Hard Surfacing</b>				
Repairs to Drives/ Primary bitmac footpaths (4460 lm x 3m wide) assume 5% patching	m2	223	£30.00	£6,690.00
Resurfacing Secondary Footpaths water-bound aggregate (3709 lm x 2m wide )	m2	7418	£15.00	£111,270.00
Remedials to existing stone paved Areas (Natural Stone) at the Lodge, Cammo House and Stables Block ( assumed 10 % of 521 m2)	m2	53	£150.00	£7,950.00
<b>Drainage</b>				
Land drainage repairs and clearance of blockages	sum	1	£15,000.00	£15,000.00
<b>Tree &amp; Woodland Management &amp; restructuring</b>				
Tree surgery and clearance of invasive / inappropriate tree planting to restore views and improve biodiversity	sum	1	£10,000.00	£10,000.00
Tree planting/ restocking of woodlands to restore historic structure, and species diversity, and repair depleted woodlands	sum	1	£15,000.00	£15,000.00
Specimen / Parkland tree planting to replace lost trees	nr	20	£150.00	£3,000.00
Specimen tree planting to consolidate Pinetum restoration	nr	10	£150.00	£1,500.00
<b>Meadow &amp; biodiversity enhancements</b>				
Bird Hides/Lookouts	no	2	£0.00	£0.00

DESCRIPTION	UNIT	QUANTITY	RATE	TOTAL
Meadow & biodiversity enhancements to North and South Fields, and open ground , including potential snow drop transplanting, wildflower enhancements and measures to control invasive species.	sum	1	£5,000.00	£5,000.00
Hedgerow restocking and gap filling for historic boundary lines	sum	1	£1,500.00	£1,500.00
Restoration of Fencing (to boundary)	l/m	100	£20.00	£2,000.00
<b>Masterplan New Works ( excluding Walled Garden)</b>				
<b>Gate Lodge</b>				
Internal refurbishment by operator ( no cost to CEC)	l/m		£0.00	£0.00
Provision of Interpretation display material	sum	1	£1,000.00	£1,000.00
<b>New Car parks</b>				
New Car Park in South Field with asphalt surface , hedgerow framework and drainage	m2	1800	£50.00	£90,000.00
New small car Park in North Field South Field with asphalt surface , hedgerow framework and drainage	m2	400	£50.00	£20,000.00
<b>Wetland / open water body &amp; watercourse</b>				
Earthworks and drainage connections to form new wetland area in the South Field	m2	1600	£15.00	£24,000.00
Drainage swale connections and naturalisation of burn water course ( approx. 5m wide corridor )	lm	60	£50.00	£3,000.00
Timber boardwalk (2m wide)	lm	80	£125.00	£10,000.00
<b>New Play facilities</b>				
Timber and climbing play within Woodland	sum	1	£50,000.00	£50,000.00
Small natural play installations around the Estate	nr	5	£2,000.00	£10,000.00
<b>Cammo House</b>				
Enhancements to Cammo House forecourt , steps and embankment, including platform for viewing/ performances	m2	200	£75.00	£15,000.00
<b>Furniture and Miscellaneous</b>				
Picnic Tables	no.	15	£400.00	£6,000.00
Benches	no.	12	£500.00	£6,000.00
Bins	no	4	£250.00	£1,000.00
Gateway signs/ Orientation Boards with illustrative maps & interpretation	no.	4	£1,200.00	£4,800.00
Finger Posts/ waymarking signs	no.	15	£200.00	£3,000.00
Interpretation Boards	no.	5	£1,000.00	£5,000.00
<b>Services &amp; Utilities</b>				
Electrical and water supply to Walled Garden and Stable Block area	sum	1	£50,000.00	£50,000.00

DESCRIPTION	UNIT	QUANTITY	RATE	TOTAL
<b>Masterplan Conservation &amp; New Works Total ( excluding Walled Garden)</b>				
<b>Subtotal</b>				<b>£625,210.00</b>
<b>WALLED GARDEN RESTORATION &amp; DEVELOPMENT</b>				
<b>Restoration Items</b>				
<b>Walls &amp; Structures restoration</b>				
Repairs / rebuild to garden walls involving localised rebuild up to 5 m high plus indentations in stone and brick	l/m	325	£1,200.00	£390,000.00
Restoration of Gate Pillars and doorways	sum	1	£15,000.00	£15,000.00
Site clearance & duntakings	sum	1	£3,000.00	£3,000.00
<b>Trees and greenspace</b>				
Tree surgery to improve health and logevity of trees to be retained	sum	1	£2,000.00	£2,000.00
Protection measures & transplanting of snowdrops	sum	1	£1,000.00	£1,000.00
Cultivation of areas for new planting beds	sum	1	£1,500.00	£1,500.00
<b>New Works Items</b>				
<b>Hard Surfacing and Furniture</b>				
Paths (2100 x 2m wide) water bound aggregate	m2	4200	£20.00	£84,000.00
Natural Stone pavements	m2	400	£150.00	£60,000.00
Raised Beds (Potager Garden - Mild Steel edgings)	l/m	500	£25.00	£12,500.00
Raised Beds (Community Garden - Timber)	l/m	700	£15.00	£10,500.00
Benches and Picnic Benches	no.	15	£500.00	£7,500.00
Surfacing to allotment areas	m2	900	£25.00	£22,500.00
Associated furniture i.e. compost bins, sheds	sum	1	£1,000.00	£1,000.00
<b>New Structures &amp; buildings</b>				
Education / community building	sum	1	£150,000.00	£150,000.00
Potting shed/ store building	sum	1	£10,000.00	£10,000.00
Servicing of buildings within the Walled Garden ( electrics, water, sewage / septic tank)	sum	1	£10,000.00	£30,000.00
Greenhouse	sum	1	£2,500.00	£2,500.00
Fences & climbing frames	sum	1	£2,500.00	£2,500.00
<b>Trees and Softworks</b>				
Amenity Grass	m2	2000	£5.00	£10,000.00
Hedges	l/m	260	£15.00	£3,900.00
Shrubs and planting for Potager	m2	600	£10.00	£6,000.00
Specimen Trees/ Orchard trees	no.	10	£150.00	£1,500.00
<b>Walled Garden subtotal</b>				
<b>Walled Garden Subtotal</b>				<b>£826,900.00</b>
<b>Combined Total Masterplan &amp; Walled Garden</b>				
				<b>£1,452,110.00</b>
<b>Contingencies &amp; Prelims @ 15%</b>				
				<b>£217,816.50</b>
<b>Grand Total ( ex VAT)</b>				
				<b>£1,669,926.50</b>

## 8 Outline Activity Plan

### Introduction

- 8.1 This chapter represents an Outline Activity Plan for Cammo Estate. This will be developed in further detail at the Development Stage, subject to a successful Round 1 application to HLF. In this report it provides the basis for more detailed development and includes findings from both desk research and stakeholder consultations / engagement events held during 2017. In summary, this chapter examines the Current Position regarding activities at Cammo Estate, then develops a strategy for future Activity provision based on audience demands, heritage and landscape opportunities.

### Current Position

#### Organisational Structure

- 8.2 As discussed under 'Management Structure' in Chapter 10, Cammo Estate is managed by the City of Edinburgh Council Forestry and Natural Heritage department (FNH) within Parks, Greenspace and Cemeteries. The FNH is consequently responsible for the organisation of Activities at Cammo, in conjunction with the Friends of Cammo and other stakeholders. The FNH uses the Lodge House for interpretation and for liaison between the Council and Cammo's audience. FNH staff is periodically based at the lodge house, and use it for meetings and specific events.
- 8.3 The FNH co-ordinates and provides guidance to the volunteer groups and organisations who carry out tasks at Cammo. They also assist in the organisation of events, research and recreational activities. The FNH communicates with the community and interest groups through the Council's website, by newsletters and with presentation material in the Lodge House.
- 8.4 The FNH works closely with the Friends of Cammo and facilitates their activities in the Estate. In addition the FNH coordinates conservation and educational activities by The Trust for Conservation Volunteers (TCV), National Trust for Scotland (NTS) and local schools/ colleges.
- 8.5 FNH operates across the city and in the Pentland Hills Regional Park; there are currently two Natural Heritage Officers responsible for a number of parks across the North of Edinburgh including Cammo Estate, and draws support from other CEC services for management / maintenance operations, and for the coordination of activities.

#### Cammo's Audience

- 8.6 Cammo Estate is located on the north-western edge of Edinburgh. Running along the northeastern border of the Cammo Estate are the wards of Barnton, Cammo and Cramond. Other wards in the vicinity of the site include East Craigs North, East Craigs South, Clermiston and Drumbrae, Corstorphine North and Dalmeny, Kirkliston and Newbridge.
- 8.7 The Scottish Index of Multiple Deprivation (SIMD) shows that Cammo is generally an affluent area that is well-connected to Edinburgh's city centre. However, there are stark differences between individual wards. Most of the wards are affluent and are characterized by good health services, high levels of education and low levels of crime. These include the wards of East Craigs South, Corstorphine North and Barnton, Cammo and Cramond. There are also however, pockets of significant deprivation in close proximity of Cammo Estate including East Craigs North and Clermiston and Drumbrae, parts of the latter being amongst the 20% most deprived areas in

Scotland.<sup>5</sup> Nevertheless, Census Data (2011) shows that the areas surrounding Cammo Estate score well on health indicators, even in more deprived areas such as Clermiston and Drumbrae where 47% of the residents stated that they are in very good health.

- 8.8 The areas surrounding Cammo Estate are a relatively homogenous in terms of ethnic make-up. The majority of the local residents are classified as 'Scottish White' (>75%), the largest ethnic groups after that being 'White British' and 'Other Asian'. These levels are in line with figures for Scotland (84% White Scottish, 8% Other White British, 3% Other Asian).<sup>6</sup>
- 8.9 Plans currently exist for the development of a significant private housing scheme on agricultural land immediately to the east of Cammo Estate, and this will introduce additional residents to Cammo's catchment, with easy access via Cammo Walk and new linkages within the housing areas. The housing development will remove the existing open farmland and will partially enclose the designed landscape.
- 8.10 There is a shortage of accessible green spaces in the vicinity of Cammo Estate. At first glance, the wider locality seems to be characterized by a network of open spaces. Upon closer inspection it becomes apparent that these open spaces principally comprise golf courses such as the Royal Burgess Golfing Society and the Bruntsfield Links Golfing Society which are accessible to members only, giving them limited value as public open spaces. The rest of the open green space in Cammo is mostly limited to hedgerows and scattered patches of vegetation weaving through the urban fabric. These observations underline the importance of the Cammo Estate as an accessible open space in the area.

### Activities & Engagement at Cammo

- 8.11 Currently Cammo's main user groups include walkers, dog walkers (including several professional dog walking companies), families, schools, and cyclists. In addition a number of special interest groups visit Cammo for field work and for outdoor education, recreation and events. The FNH also coordinates a range of voluntary work by its network of volunteers, including the Friends Group, corporate groups and by those seeking experience in land-based industries.
- CEC FNH staff is periodically based in the Lodge House at Cammo, and this provides a focus for liaison between the community and the Council. It provides site-based interpretation facilities (albeit at a basic level) and a small meeting space. Cammo Lodge is consequently a strategic site for notices and for dissemination of information. As the base for FNH at Cammo it is also used as an office from which management operations are planned.
- 8.12 CEC FNH has provided a list of the activities undertaken at Cammo, and where available details on the participants. This is not exhaustive but demonstrates the level of interest in Cammo and its capacity to serve a wide range of audience demands:
- **Friends of Cammo:** environmental improvements (tree planting, hedgerow establishment, wildflower planting, honey bee hive installation, habitat box purchase and erection, canal rejuvenation), fundraising, litter collection, site promotion, Lodge refurbishment, annual BBQ.
  - **Edinburgh South Orienteering Club:** permanent orienteering course on site, production of orienteering maps, small to large scale events held on site throughout year.
  - **Edinburgh Archaeological Field Society:** site digs, interpretation, events, links to student projects.
  - **Filming:** music videos, student projects, educational videos.
  - **Edinburgh Festival event location:** theatrical productions have been hosted and listed as Festival destinations.

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<sup>5</sup> Scottish Index of Multiple Deprivation (SIMD) 2016

<sup>6</sup> Census data (2011): Ethnicity



- **Zeroone Technology and Design Experts:** undertaking some R&D to test the viability of new technology planning to build utilising Augmented Reality, the idea is to create a product which will allow users to view ruins through the camera of their smartphone, tablet (and ultimately HoloLens) and see a virtual reconstruction of the building in situ on top of the existing ruins: Cammo House used – no results yet.
- **The Green Team:** environmental education and conservation – last task, iCONic tree maintenance.
- **The Conservation Volunteers:** practical conservation activities.
- **RBGE:** iCONic tree project in Pinetum: several internationally endangered conifer species planted in Pinetum.
- **Cammo Art Classes:** a proposal has been submitted to run art classes in Cammo Lodge and surroundings from Jan 2018.
- **Scottish Ballet Creative Woodlands project:** mid 2016 working with teenagers with challenging behaviour to develop dance skills and an appreciation for the outdoors. All delivered at Cammo.
- **CEC Early Years, Play Development:** outdoor educational activities, consistent site use over time.
- **Forest School** – many schools and community groups undertake such practices out on site without notification – several private nursery groups use Cammo in this way.
- **Past to the Future Paranormal:** a ghosthunting group who have used the site (normally during the dead of night) to undertake analysis with technical instruments relating to ghosts. Indications are that certain instruments have picked up such activity, but CEC hasn't seen the results yet.
- **Fitness instruction.** On occasion witnessed, normally notifications picked up electronically.
- **Local cubs, scouts, brownies and guides** have all been involved in various ways from practical conservation tasks, wildlife walks/talks to orienteering and responsible fire lighting.
- **City Gates Church:** annual Easter activities with refreshments.
- **NTS:** chairing and attendance of Cammo Advisory Group and conservation volunteer provision.
- **MOD:** C Company, 3 RIFLES, Dreghorn Barracks, EDINBURGH – various navigation exercises, orienteering.
- **Edinburgh Natural History Society** guided walks (other groups witnessed but not recorded).
- **Biological recording:** Butterfly transect undertaken and info provided to BCT annually. Large mammal activity monitored. Bat surveys undertaken when required – Cammo Home Farm, stable block (records of brown long ears). Baseline floral surveys undertaken with rough recording of spread/effect of yellow rattle. TWIC hold site records, we submit annually.
- **The RSPB** launched their "Aren't Birds Brilliant" campaign in 2008 at *Cammo Estate* aimed at highlighting illegal *raptor* killing with a buzzard nest viewing project also being launched, the first in Scotland within city limits.
- **Stevenson College students** have used Cammo for their Access to Work and Employment courses work on Friday mornings throughout the academic year
- **George Heriot's school S4 and S5 students** undertake voluntary conservation activities over a week in June

8.13 Cammo is a popular site for professional dog walkers and CEC encourages these companies to register their intent to use parks under FNH management. At the last check (2016) Cammo had

around 100 different individuals listing it within their top 3 most frequented sites. Cammo and Corstorphine Hill are the most popular sites for these companies.

- 8.14 The above list demonstrates that Cammo is used for a wide variety of activities on both a regular and occasional basis. These activities involve participation by a broad spectrum of society and representing many interests. The intensity of activities is generally low and the large scale of the Estate enables it to absorb significant numbers of visitors without impacting on its tranquil and wild characteristics. Going forward it will be important to consider how these characteristics can be safeguarded whilst achieving the objectives for conservation and enhancements, which in themselves will increase the attractiveness of the landscape and likely encourage more visitors. At this stage it is considered that Cammo has the capacity to accommodate a diverse range of activities with increased participation levels, without negative impacts on its heritage. The latter will require careful zoning of activities and associated developments to protect the quieter areas, while improved infrastructure will allow the wider dispersal of visitors, thus dissipating their impacts and reducing the occurrence of visitor 'congestion'.

### Community Consultation

- 8.15 Preparation of this HLF Round 1 Application for Cammo Estate has involved consultation with stakeholders and engagement with the local community in order to determine the community and interest group aspirations, their concerns and priorities for action at Cammo. Two rounds of community engagement have been held:
- The first sought to improve knowledge of the audience, to establish how the Estate is used currently, and to determine what improvements are favoured by the local community. This was supported by baseline plans, the findings of LUC's site research and appraisal work. It involved an open drop-in workshop at Cramond Kirk Hall which was advertised in advance by CEC FNH;
  - The second engagement event presented masterplan options for the conservation and development of Cammo Estate. These options reflected the findings from the first round of engagement and sought to illustrate how the community and stakeholder aspirations might be delivered on site. These were broadly split between 'conservation' and 'new developments' The differences between the options largely related to the proposals for new developments, and indicated how the demands expressed by the community could be integrated within the landscape, their inter-relationships, and how these would be accessed. Key development components for which options were presented included:
    - Visitor facilities : café, toilets, interpretation
    - Education facilities: indoor and outdoor teaching spaces
    - Parking facilities : potential new car parks and associated access infrastructure;
    - Play facilities;
    - Walled Garden development options for different uses / distribution of uses;
    - Water feature/ wetlands;
    - Picnic facilities
- 8.16 The findings from these consultation events can be summarised as follows (supplementary information is contained in the appendix):
- 8.17 The public consultation responses have been analysed in order to determine what the 'preferred masterplan' should contain. This analysis indicates that there are some differences in opinion, but also universal support for many proposals. It would appear that while there is generally a desire to preserve the natural heritage attributes of Cammo, there is also a desire to see improvements and developments for a wider audience.
- 8.18 A proportion of respondents would prefer to see minimal change, with limited development of facilities for visitors/ venues for activities. These have a focus on preserving the natural heritage attributes of the Estate, and express a concern that the development of new facilities could prejudice the 'wild' characteristics of Cammo. However a larger proportion of respondents have

expressed the desire for a combination of conservation and new facilities to serve and attract existing and new visitors.

- 8.19 The review of the consultation responses determines that there is broad support for the following:
- all restoration proposals (except grazing in the North Field)
  - retaining nature conservation/wild characteristics
  - improving the access network and condition of path surfaces with provisions for disabled access/ circuits to and from car parks
  - restoring the boundary walls
  - introducing a wetland area in the South Field
  - enlarging and improving car parks : clear preference for P2 ( South Field ) and other smaller provisions for disabled visitors and within North Field
  - signage and interpretation provisions;
  - natural and adventure play facilities - a popular element for those (the majority) who favoured Masterplan Option 1 (&2)
  - picnic facilities;
  - seating
- 8.20 For the Walled Garden options, there was a slight preference for Option C (a mixed development which retains some of its wild characteristics, but which also allows development of new garden areas and facilities to support a range of new horticultural themed activities). There was strong support for leaving the Walled Garden in its current condition, but limited support for the complete development of a new garden within the walled garden framework. The dangerous condition of some of the existing walls determines that any future uses would require attention to the structures for heritage and Health & Safety reasons. It was suggested that the half and half option shown at consultation needed further development to ensure all appropriate trees where kept and existing path network was utilised.
- 8.21 Restoration of the Stables as a Visitor facility/base for activities and office is not favoured by some, but again the majority have expressed a desire for visitor facilities (e.g. café/ toilets etc.) and for something worthwhile to be made of the Stables building, given its architectural significance and potential risk if not utilised.

### **Barriers to Participation at Cammo**

- 8.22 A combination of desk research, site appraisals and consultations has enabled us to determine what the main barriers to participation are at Cammo. The proposals contained within the Masterplan and the Outline Activity Plan seek to remove or reduce the impacts of these barriers.

#### *Access Barriers*

- 8.23 A key consideration for Cammo Estate concerns accessibility. Although the wards near Cammo Estate are served by excellent transport links, the estate itself is rather isolated. There is no public transport to the site, with the closest bus routes/stops being on Queensferry Road (A90) and Maybury Road at some distance from the Estate. There is currently no vehicle access into the north of the estate, and visitor parking is only provided at Cammo Walk to the south at the bottom of Oak Avenue. The Estate has consequently very limited parking provisions, and this has been raised as a concern during consultations due to frequent congestion and illicit parking when the small car park is full.
- 8.24 Cammo is however, a site for walking and cycling and the limited vehicular access is seen as a positive factor by most of the local community. A number of routes throughout Cammo Estate are either local routes or core routes, in particular East Avenue and South Avenue. Cammo Walk

and Cammo Road mark are designated as a Quiet route for cyclists. The condition of the historic access routes, and of desire line (mud) paths is however poor, with frequent waterlogging and uneven surfaces. This is a deterrent and barrier to access, especially for the less mobile visitor.

- 8.25 Topography is also a barrier to access for the less mobile and disabled visitors, especially in the western and north-western parts of the Estate, where gradients are locally steep and irregular. This determines that there are currently obstacles to access for the less mobile which may be overcome by disabled parking provisions inside the Estate.

#### *Limited Visitor Facilities*

- 8.26 Cammo has very limited facilities for visitors eg lack of toilets/ baby change; limited interpretation facilities, café, shop and indoor shelter. This lack of facilities represents a deterrent to a proportion of potential visitors, especially family and elderly visitors who require or prefer these facilities to be available, and whose decisions on day trips are influenced by this amongst other factors. For the less mobile, very young and disabled visitors, the absence of basic hospitality facilities is a significant constraint which may rule out Cammo as a place to visit.

#### *Limited Interpretation and Educational Facilities & Activities*

- 8.27 Cammo currently has only limited interpretation facilities which are mostly contained within the Cammo Lodge and within entrance signage. Interpretation signage is currently limited in its distribution and subject matter. It is also 'tired' and lacks general appeal. The FNH compensates by providing information leaflets and on-line information, but the site-based facilities warrant a significant upgrade, informed by an Interpretation Strategy. Better interpretation facilities both indoor and within the landscape would broaden the appeal of Cammo and allow a greater number and range of people to participate in its heritage.
- 8.28 Cammo is used by a wide range of special interest groups who help in the interpretation of the Cammo landscape, and provide educational benefits. These activities, together with those organised by FNH, are important and reinforce the Estate's heritage significance and relevance to its audience. There is however a need to provide better facilities for these and future user groups eg sheltered accommodation; study/conference room(s).
- 8.29 The means of Interpretation is currently somewhat limited in its format, and there is scope for more imaginative and diverse formats which could help to engage a wider audience. These may include trails; site based events, guided tours; ephemeral artworks, community growing or demonstration projects in the walled garden.

#### *Limited Facilities for Volunteering and Training*

- 8.30 Conservation volunteering currently takes place at Cammo and these activities are heavily supported by the Friends Group. There are however limited facilities for use by volunteers eg storage; training compound; sheltered accommodation ; potting sheds etc. The provision of such facilities together with support from specialists would allow the range of conservation volunteering activities to be expanded, and would increase the appeal of volunteering

#### *Limited Play /Recreation Facilities*

- 8.31 Cammo currently provides an exciting environment for exploration and 'natural play'. There are however no facilities for play in the more conventional sense. Consultations have identified this lack of facilities as an issue and consequently the Masterplan has made provisions for the inclusion of play facilities which are accessible from other visitor facilities, and a number of small installations which are distributed within the landscape so that they can encourage exploration and provide localised incidents. The play facilities would be modest in scale and sympathetic to the landscape. Such facilities will broaden the appeal of Cammo to family visitors.

## Target Audiences

- 8.32 Considering the scale of Cammo Estate, its proximity to the Edinburgh conurbation and to key transport routes, there is evidently potential to increase the volume (and therefore value) of park users. It is believed that the Cammo landscape could accommodate increased use without detriment to its heritage or character, if carefully planned, and with appropriate developments to increase the site's resilience and capacity for activities. The current visitor numbers are relatively low for this size and type of park (approximately 75,000- 100,000 per annum) and a increase to c. 150,000 visitors per annum is considered realistic following completion of the project proposals. (by c. 2026). This would be dependent on the award of funding support from the HLF and other partners following applications. The receipt of funding support for Cammo Estate will allow the improvement of facilities and restoration the designed landscape, but will also allow an uplift in the range of activities and events held.
- 8.33 Following a successful Round 1 application to HLF for Walled Garden component of the Masterplan, the Development Phase will allow the Activity Plan (and the Conservation Plan) to be developed in greater detail and with specific focus on the Walled Garden as the subject of the HLF grant. The development phase will accommodate further community consultation and outreach to test the composition and demands of the future audience for Cammo Estate as a whole, and for the Walled Garden area . At this stage Target Audiences, as outlined below, have been identified , and these will be reviewed during the Development Phase.

### Target Audiences – Residents

- 8.34 The potential future audience for Cammo has been considered based on 30 and 60 minute drive times:
- 30 minute drive time – the total population within a 30 minute drive time of Cammo is approximately 600,000 people. This area includes the City of Edinburgh and towns within West Lothian.
  - 60 minute drive time – the total population within a 60 minute drive time of Cammo is over 1.5 million and includes Edinburgh, West Lothian, Mid Lothian, much of East Lothian and parts of Fife and Lanarkshire. This includes an extensive area served by a comprehensive access network. However it is acknowledged that there are many competing attractions and local parks within the wider area that would probably limit visits to Cammo from further afield.
- 8.35 Residents within these catchment areas include relatively high proportions of working age residents that are economically active, and more likely to fall into the ABC1 socio-economic group. A proportion of these residents are likely to be receptive to the opportunities offered through the Activity Plan, although this will depend on the quality and range of activities and facilities provided at Cammo.
- 8.36 Cammo's location on the north-western edge of Edinburgh determines that it could be easily accessed from the western side of the city and from areas outside Edinburgh to the west and north. As a 'Natural Heritage Park' it offers different characteristics to the other urban parks in Edinburgh, and these wilder/ more natural qualities could be promoted as a distinctive attraction.
- 8.37 More unique and repeat visitors from the local resident base will be secured through the provision of specific activities and events, and through the conservation of the Cammo landscape, including new facilities for visitors.

### Target Audiences – Visitors

- 8.38 The most recent information from Edinburgh by Numbers ( CEC 2015) and Edinburgh Tourism Action Group (2012) identifies the following features relating to UK and overseas visitors to Edinburgh City Region:
- UK tourists made 2.15 million trips, of these the majority came from England;

- overseas visitors made approximately 1.3 million trips, with the largest numbers coming from USA, Germany, Ireland and France, Australia, Netherlands, Spain and Italy;
- visitors from the USA make up around one fifth of all overseas visitor numbers ;
- the majority of visitors come to the area on holiday and to visit friends;
- interest in culture, history , the arts are main reasons for visits to Edinburgh;
- a survey of activities undertaken by visitors to Edinburgh determined that 93% undertook 'walking round the city'; 64 % 'visiting attractions' and 20% 'excursions out of the city' ( amongst other activities ).

8.39 From this it is clear that there is a significant visitor market within the Edinburgh City Region, and the high levels of interest in heritage and culture suggests that a proportion of the visitors would potentially consider excursions to Cammo Estate, if the site was promoted and its facilities enhanced. The recent completion of the new Forth Crossing and presence of other nearby heritage attractions (eg at Cramond, Hopetoun House and Dalmeny House) might provide the opportunity for joint marketing and visits..

### **Target Audiences – Volunteers**

- 8.40 Cammo Estate already attracts a number of volunteers principally through the Friends Group, but also via schools and other groups on an occasional basis. To-date the volunteering activities have included conservation works and biodiversity enhancements. Volunteers have also assisted in the organisation and hosting of events at Cammo.
- 8.41 The FNH supports volunteer activities and could potentially expand this service for a broader range of volunteer activities. There is consequently potential to attract more volunteers to Cammo Estate, based on HLF's participation and learning themes. Potential volunteering activities for expansion and initiation would include the following categories:
- regular, or semi-regular, volunteering activities on a diarised basis to provide a core resource that will develop new skills and interests in the management of the natural environment, and assist in the maintenance of the designed landscape;
  - one-off, or ad hoc, volunteering activities to address specific needs and projects – e.g. specific restoration/ repair projects , one-off events and activities. This group could be attracted through specific organisations, particularly those with established links to, or an affinity with, Cammo.
- 8.42 The Friends of Cammo will play a role in attracting new volunteers to the Estate. The FNH will take the lead in managing the input of volunteers and supporting the work of the Friends of Cammo group.

### **Target Audiences – Schools and Educational Groups**

- 8.43 Cammo provides attractive opportunities for school, college and university trips which combine learning and practical experience. However educational visits are currently limited in number and there remains substantial potential to attract and facilitate more educational activities , based on the development of themed Educational Resource Packs and a focused marketing effort. The rich heritage of Cammo , both natural and cultural, provides opportunities for a broad range educational activities and themes , potentially these could include: geomorphology ; ecology; horticulture, social history, archaeology, architecture and landscape design.

### **Target Audiences – Special Interest Groups and Clubs**

- 8.44 Cammo is already used by a number of special interest groups for research, biological recording, recreation and events. These include the Scouts, Edinburgh South Orienteering Club; MOD; Edinburgh Festival and others. Many of these activities are occasional / ad-hoc and there is potential to establish Cammo as a regular venue for a wide range of special interest group activities. The provision of facilities and accommodation for temporary use by these organisations

will increase the attractiveness of Cammo as a venue and introduce opportunities for new activities which will meet HLF's aims for learning and participation.

## Outline Activity Strategy

### Vision & objectives for Cammo

- 8.45 The City of Edinburgh Council classifies Cammo Estate as a Natural Heritage Park, recognising its importance for biodiversity and for providing a more rural experience for its visitors. The Council's vision for the estate recognises its significance and opportunities under three categories:
- Historical ;
  - Ecological and
  - Social.
- 8.46 The first two categories recognise the built and natural heritage assets of the Estate and seek to achieve complementary conservation and enhancements which allow the historic fabric of designed landscape to be restored and interpreted, whilst enabling the natural heritage attributes to be protected and enhanced. The third category 'Social' is of particular relevance to the Outline Activity Plan as it embraces the main opportunities for improving the visitor experience at Cammo , and of increasing participation in Cammo's Heritage.

8.47 The Council's 'Social' aims can be summarised as :

- Enhancement of the visitor experience;
- Encourage new visitors to Cammo , and
- Encourage specialist interests

8.48 Implicit within these aims are the following objectives:

- To create a sense of welcome at the Estate's entrances and visitor facilities;
- To establish routes and circuits around the Estate which offer different experiences, and which cater for a range of abilities;
- To combat dog fouling;
- To interpret the natural and built heritage of Cammo;
- To improve the visual experience of the Cammo landscape, recognising historic views and spatial patterns , and inter-relationships with the surrounding countryside;
- To promote responsible access;
- To attract new visitors and to sensitively accommodate new activities within the Cammo landscape;
- To provide new facilities capable of supporting activities, education and of providing amenities which will attract new visitors/ broaden Cammo's audience
- To promote and interpret the archaeology and history of Cammo Estate;
- To promote and convey the horticultural interest of the Pinetum;
- To utilise the Walled Garden for horticultural activities and associated educational/ training programmes;

- To expand the use of the site by schools and other educational establishments;
  - To encourage interest in the ecological dimensions of the site;
  - To involve interested parties/ special interest groups in activities which support the interpretation and management of the site;
  - To support archaeological programmes for excavations and investigations at Cammo.
- 8.49 The above objectives recognise the inherent characteristics of the Cammo landscape, and indicate how these should be used to support activities which are sympathetic, but which can enhance the visitor experience and increase the Estate's appeal to a wider audience.

## Outline Activity Action Plan Proposals

- 8.50 This section outlines how the Activity Plan will increase the number and range of people that use Cammo Estate and how activities will increase people's understanding of its heritage and history. Site appraisals and consultations have identified where existing provision could be improved. The Activity Plan seeks to meet the aims outlined above, and is designed around projects that will allow people to become more involved in the history and heritage of Cammo Estate. It is based around seven overarching themes as outlined below.
- **Staffing and Volunteers** – these activities are included to meet the needs/wishes of visitors and users to Cammo Estate, allowing delivery of all other Activity Plan proposals. Proposals include:
    - developing the volunteer programme
    - developing wider networks with stakeholders and organisations that use Cammo Estate as a venue for activities;
    - securing additional staff and specialists to support volunteering/ training programmes;
  - **Recreation and Sports** – these encompass a variety of leisure, recreation, and sporting activities. Proposals include:
    - developing a programme of active play, sports and leisure activities tailored to Cammo's landscape;
    - improving the access infrastructure and drainage to facilitate access and outdoor recreation activities;
    - promoting new leisure activities using the new and enhanced facilities proposed for delivery through the capital works programme;
    - developing an enhanced programme of activities and events, building on the current range of activities .
  - **Amenity and Environment** – these will ensure that the indoor and outdoor facilities provided through the capital works programme are developed in a manner that will meet visitors' needs/wishes. Proposals include:
    - promoting and utilising new/ improved indoor/outdoor facilities for activities and events;
    - improving the access infrastructure to enable more extensive access and exploration within the Estate
    - improving site interpretation and delivering guided tours and specialist walks/talks.
  - **Cultural** – these activities involve working with a range of partner organisations to deliver cultural, visual arts and performance events at Cammo, utilising its historic structures and spaces as the venue/ setting. Proposals include:
    - Building on the existing arts activities to attract new audiences
    - developing a new on-site arts programme which utilises the new facilities and landscape developments proposed within the capital programme ( eg new parking, Walled Garden restoration and potential enhancements at the Cammo House ruin and/or Stables Block;



- **Educational** – these involve a range of educational activities for schoolchildren, students, adults (including special interest groups) to maximise their learning and understanding of the history and ( built and natural) heritage of Cammo. Proposals include:
  - promoting Cammo to attract more trips from schools and colleges;
  - developing education 'packs' for school visits;
  - developing site-based workshops, training and guided tours for specific user groups e.g. children, gardeners, wildlife, archaeologists, built heritage, etc;
- **Information and Access** – these activities will ensure high quality access to Cammo, both physically, via electronic means, and through published information. Proposals include:
  - upgrading the information about, and signage, into Cammo;
  - improving interpretation facilities and associated staffing within the visitor hubs ( ie Cammo Lodge and future developments in the Walled Garden and Stables Block);
  - influencing the development of effective public access corridors/ green networks from the future housing developments in neighbouring areas; and
- **Marketing** – these activities seek to promote Cammo to a wider audience. Proposals include:
  - developing marketing and promotional material , which conveys the heritage ( built and natural) significance of the site and which promotes the new / improved facilities and activity programme for Cammo , following completion of the capital works. This would utilise the CEC website in particular;
  - exploration of marketing opportunities at local tourist visitor centres and other designed landscapes;
  - better promotion of public transport links to Cammo and of public access by footpath and cycle routes.

8.51 The following table represents the Outline Activity Plan for Cammo Estate. This identifies how the Estate could accommodate a greater range of activities, and increase participation in its heritage. The Activities listed partly depend on the provision of new facilities, and on additional staffing.

## Theme 1: Staffing & Volunteers

Activity	Audiences	Outcomes	Resources	Costs	Targets	Evaluation
<p><b>A1 Volunteer + Staff Training Programme</b> Develop and deliver programmes to include:</p> <ul style="list-style-type: none"> <li>• A1.1 Welcome/ Host Training – customer care training programme to all frontline staff ( FNH) and volunteers</li> <li>• A1.2 Disability Awareness – ensure all staff/ volunteer guides are aware of DDA/Land Reform Scotland Act issues and requirements</li> <li>• A1.3 Health and Safety – ensure all volunteers are aware of H+S issues and compliance</li> <li>• A1.4 Public Speaking for Guides – ensure key front-facing staff/volunteers are confident public speakers, able to communicate effectively with, and impart knowledge to, visitors</li> <li>• A1.5 Conservation skills training for staff and volunteers in woodland management, habitat protection, horticulture/ grounds maintenance, masonry work/ lime mortar, dry stone walling, fencing, hedge-laying, etc</li> </ul>	CEC FNH Staff; Friends of Cammo; and volunteers	Visitors receive a warm welcome and have a high quality experience. Volunteers learn about the history/heritage / conservation of Cammo. Staff and volunteers develop heritage conservation skills	Money and time. Use on-site facilities eg Refurbished Cammo Lodge; new education rooms in Walled Garden, where possible, Use external facilities only where value for money or other clear benefit. Supervision & specialist trainers required. Protective clothing, equipment & subsistence allowance for conservation trainees/volunteers	<p><b>A1.1- A1.5:</b> £2500 training (£500 p.a for 4nr Training sessions</p> <p>£300 Enhanced Disclosure checks (3 people p.a @ £20 each)</p> <p><b>A1.6:</b> £15,000 training costs, PPE and subsistence</p>	Support increased visitor numbers and range of activities. Visitor management training delivered to key staff and volunteers with visitor/ training interfaces. .Potential for vocational qualifications to be investigated.	Visitor surveys and website feedback Quantification Of conservation Works completed by volunteers; condition of landscape and visitor responses from surveys.
<p><b>A2 Staffing</b> A2.1 Employ or increase seasonal support (May-Sep)</p>	All Cammo visitors, particularly those attending activities/ev	Semi-permanent presence on site to guide visitors and arrange	0.5 FTE additional support to FNH	£75,000 (£15,000 per annum) additional Staff costs And associated	Support increased visitor number target Establish volunteer Programmes. Delivery of	Staffing records Visitor survey feedback. Review against PFIs

Activity	Audiences	Outcomes	Resources	Costs	Targets	Evaluation
	ents	activities. Expanded programme of on-site activities/ events for visitors		overheads	marketing/promotion. Facilitate events Programme..	by CEC.
<b>A4 Volunteers</b> A4.1 Increase the number of volunteer hours and range of activities at Cammo. <ul style="list-style-type: none"> <li>• Friends Group inputs to Cammo Estate management (e.g. community and Friends representation)</li> <li>• Conservation and maintenance volunteers</li> <li>• Visitor guides and interpreters</li> <li>• Events support (organisation)</li> <li>• Events support (on the ground assistance)</li> <li>• Educational support</li> <li>• Volunteer survey work e.g. for wildlife recording and visitor surveys</li> <li>• Friends Group activities</li> </ul>	Friends; local residents and specific interest groups/ local organisations	Actively engages local people to participate. Opportunity for different groups of people to get involved at Cammo	Increased Ranger time input through additional staff resource	£15k in kind contribution to built heritage conservation works and archaeology (£3k pa) £5k in kind to Natural heritage Projects (£1k pa) £2500 in kind to volunteer guides and education support (£500 pa) £500 volunteer travel costs (£100 pa) £2000 to Friends Group Activities (£400 pa)	Achieve additional volunteer hours and build volunteer programme. Increase inputs to Cammo management by community and Friends. Increased involvement in Conservation and Maintenance by Volunteers. Introduction of Visitor guides/ interpreters Events support – in organisation and on the ground. Educational support Volunteer survey work Friends Group activities	FNH will maintain records Of Visitor Numbers & increases (and range of visitor types) and visitor survey feedback on improved site conditions etc.

## Theme 2: Recreation & Sports

Activity	Audiences	Outcomes	Resources	Costs	Targets	Evaluation
<p><b>B1 Active Play</b> Promote the new children's play facilities. Engage local children in development of play proposals.</p>	Young people and families	Widen Cammo's audience. Encourage longer and more frequent visits to Cammo to benefit from outdoor environment	New play facilities promoted through CEC website, leaflets and word of mouth. FNH to coordinate inputs from local children & schools, and to promote new facilities.	£75k capital Costs. FNH staff time included above	Support increased visitor number target and diversify Cammo's audience	Car park and pedestrian counters Annual survey of users
<p><b>B2 Active Sports/Leisure</b> B2.1 Promote and support a range of activities – sports, jogging, orienteering; health walks, scouting activities; gardening</p>	All visitors, sports clubs and special interest organisations	Encourage participation in outdoor activities, improved health & wellbeing	New play Equipment and furniture for passive uses; upgraded paths/trails promoted through website, leaflets and word of mouth	FNH staff time included above	Support the increased visitor number target Expand range of users. Increase number of groups	Car park and pedestrian counters Annual survey of users
<p><b>B3 Recreational Events</b> B3.1 Develop a range of participant events at Cammo (recreation/sports) e.g. cross</p>	All visitors –events focused on different audience groups: families, young people,	Encourage Participation in outdoor environment through event	FNH support in partnership with local groups/organi sations	£1500 over 5 years (£300 pa)	Support increased visitor number target Support broader range of audiences by developing new	Car park and pedestrian counters Annual survey

Activity	Audiences	Outcomes	Resources	Costs	Targets	Evaluation
country/ orienteering , treasure hunts, Easter Egg hunt The FNH will support continuation of existing events, and work to develop new events.	local residents, visitors, etc	trip and subsequent visits			events.	of users

### Theme 3: Amenity & Environment

Activity	Audiences	Outcomes	Resources	Costs	Targets	Evaluation
<b>C1 Visitor Interpretation Facilities</b> Develop and regularly update interpretation facilities within the Cammo Lodge-house and within the restored Walled Garden. Promote new facilities to attract users and host visitor groups within the Walled Garden. (Future expansion of interpretation and education facilities to be considered for the Stable Block, following and subject to restoration).	All visitors; visiting school groups; special interest groups	Learn about, and aid understanding of, the history/ heritage of Cammo.	Interpretation boards and leaflets within Lodge and Walled Garden buildings. CEC Website enhancements for interpretation and promotion of activities.	Lodge –house enhancements by café operator. Walled Garden buildings/facilities within capital works. Interpretation facilities Included in capital works (see Cost plan) Running costs for Walled Garden facilities £5,000 over 5 years	Provide more extensive, engaging and informative interpretation based on detailed Interpretation Strategy. Tailor to a broader range of audience .	Car park and pedestrian Counters. Annual survey of users. Visitor book feedback and website feedback analysis.

Activity	Audiences	Outcomes	Resources	Costs	Targets	Evaluation
<p><b>C2 Toilet Facilities</b> Upgrade of toilets within the Lodge-house. Provision of new toilets within the Walled garden as part of new developments. (The future restoration of the Stable Block will allow the development of high quality visitor facilities including toilets)</p>	All users	Improved visitor facilities to support activities, attract people to visit for longer periods, and more frequently; improved provision for disabled access and for parents with baby; increases the capacity of Cammo to accommodate activities and events	<p>Toilets in Lodge-house to be provided and maintained by café operator.</p> <p>Toilets in Walled Garden to be maintained by CEC.</p>	Included in capital works (see Cost Plan) enhanced maintenance costs required for Walled Garden facilities	Support increased visitor numbers and activity participation. Support longer trips target.	Annual survey of users/ numbers of participants in activities. Website feedback
<p><b>C3 Cafe Facilities</b> Provision of café/ tea room in Cammo Lodge by external operator working to CEC terms and standards. (The future restoration of the Stable Block will allow the development of high quality visitor facilities including a cafe)</p>	All users	Improved visitor facilities to support activities, attract people to visit for longer periods, and more frequently.	Cafe in Lodge-house to be provided and maintained by café operator.	Operating costs to be borne by café operator with revenue to CEC.	Support increased visitor numbers and activity participation. Support longer trips target.	Annual survey of users/ numbers of participants in activities. Website feedback
<p><b>C4 Outdoor Facilities</b> Provide new outdoor facilities to include seating, picnic areas; shelter(s) litter bins. Sited sensitively across the Estate , with the main concentration in the Walled Garden.</p>	All users, particularly family and older/ less mobile visitors	Improved visitor facilities to attract people to visit for longer periods, and more frequently	Outdoor facilities to be maintained by CEC with potential volunteer support. New facilities to be promoted on	Included in capital works (see Cost Plan)	Support increased visitor number target Support broader range of audience target. Support longer trips target	<p>Car park and pedestrian Counters.</p> <p>Annual survey of users. Visitor book feedback and website</p>

Activity	Audiences	Outcomes	Resources	Costs	Targets	Evaluation
			site maps and through the CEC website.			feedback analysis.
<b>C5 Education Spaces/ Building in Walled Garden</b> Develop horticultural/ ecological education spaces within the Walled Garden and within new building / lean-to buildings. Use of education spaces to be promoted. (The future restoration of the Stable Block will allow the development of high quality education / training facilities within the building's footprint)	All visitors; visiting school groups; students; special interest groups; horticulturalists/ trainees, volunteers, special needs groups and Friends	Learn about, and aid understanding of, the history/ heritage of Cammo. Special interest education and horticultural training Increased visitor numbers with health and education benefits	Maintained by CEC with volunteer support. Potential partnership with social enterprise organisation to be investigated. Promoted through website and word of mouth referrals	Education Spaces/ buildings included in capital works (see Cost Plan); Running costs £2500 over 5 years	Provide new education/ training facilities which can serve a wide audience and result in greater participation in Cammo's heritage. Support broader range of audience target	Annual survey of users/ numbers of participants in activities.  Website feedback
<b>C6 Ranger Walks/Talks</b> Timetable guided ranger walks/tours around specific themes Promote via website and on-site info points	All visitors – focused on local residents and special interest groups	Provide learning opportunities and encourage participation in outdoor activities	FNH Ranger	£3000 in kind contribution av. 12nr talks pa (60 over 5 years)	Support increased visitor numbers target Encourage broader range of audience participation	FNH records Annual survey of users Event feedback Website feedback
<b>C7 Specialist Walks/Talks</b> CEC plus freelance specialists to deliver specialist walks/talks eg archaeology; ecology; trees; architectural/landscape history; horticulture	All visitors – focused on local residents and special interest groups	Provide learning opportunities and encourage participation in outdoor activities	FNH Ranger + input from external specialists	£3000 ( 6 talks pa x 5 yrs). Charged £100 p/walk for specialists. Mixture of costs and in-kind contributions	Support increased visitor numbers target  Encourage broader range of audience participation	FNH records Annual survey of users Event feedback  Website feedback

Activity	Audiences	Outcomes	Resources	Costs	Targets	Evaluation

#### Theme 4: Cultural

Activity	Audiences	Outcomes	Resources	Costs	Targets	Evaluation
<b>D1 Performing Arts</b> CEC to explore opportunities with local clubs/ Societies/ Edinburgh Festival to expand range/ frequency of musical and theatrical performances, within the designed landscape eg at the Cammo House ruin / within the Walled Garden and within the South Field	All visitors, targeted at local residents and special interest groups	Encourage participation in cultural activities through events, and in outdoor environment through subsequent visits	FNH support in organisation of events. Use of site facilities / services. Event providers to undertake clean ups/ remediation if required.	Facilities provided by capital works. Promotion costs by operators.	1 additional cultural event per annum to take place in the grounds	FNH to record number and type of event
<b>D2 Onsite Arts Programme</b> Develop a creative classroom In the Walled Garden for educational use including arts/produce exhibitions Host photography/sculpture workshops led by external specialists.	All visitors; special interest groups and local arts societies; school groups and further education groups	Encourage participation in art activities and appreciation of Cammo's designed landscape for a range of users	FNH and assistant to develop arts programme using external specialists to lead workshops	Events costs (@ £300 per annum)£150 0 over 5 years	Secure 1 onsite Event p.a	FNH to record number and type of event, participants and audience attendees. Feedback from visitor books/ website
<b>D3 Outdoor Exhibition</b> CEC to explore opportunities to utilise the designed landscape	All visitors, special interest groups and local arts	Encourage participation in art activities and	FNH to promote Cammo as	Events costs @ £300 per annum	Secure 1 onsite event p.a	FNH to record number and



Activity	Audiences	Outcomes	Resources	Costs	Targets	Evaluation
for temporary outdoor art installations; potentially within the secure environment of the Walled Garden and elsewhere for ephemeral works.	societies, school and FE groups	outdoor environment	venue through website and outreach work			type of event, participants and audience attendees. Feedback from visitor books/ website

### Theme 5: Educational

Activity	Audiences	Outcomes	Resources	Costs	Targets	Evaluation
<b>E1 Schools</b> E1.1 Attract more school trips to Cammo E1.2 Develop education pack followed by briefing and tuition for teachers E1.3 Host on-site curriculum tuition	Edinburgh and potentially Lothian Schools (primary and secondary)	Interactive learning	Revenue costs; Use of indoor and outdoor education spaces in the Walled Garden	£1k for Education packs (over 5 years)	Volume of school trips to increase from current numbers.	User count Customer survey FNH to record school trips by volume and location
<b>E2 Nature School</b> Establish an open access 'Nature School' for attendance by local children to learn about ecology, woodlands and horticulture at Cammo. This would use the Walled Garden as a base.	Edinburgh and potentially Lothian Schools	Promote understanding of woodland ecosystems, and woodland management in a hands-on manner for school	FNH Ranger with potential specialist and volunteer support	In kind by CEC plus specialist inputs at £300 p.a ( £1500 over 5 years)	Attract local children 10nr to 20nr	FNH to record data

Activity	Audiences	Outcomes	Resources	Costs	Targets	Evaluation
		children				
<b>E3 Children's Art Workshop</b> FNH to work with local art groups to develop potential for 'Creative Days' at Cammo – focus will be on peak holiday times – Easter, summer and October	Children – local residents, visitors and tourists	Increase understanding and appreciation of the designed landscape as inspiration for art amongst young people	FNH. Use of indoor and outdoor education spaces in the Walled Garden as gallery for artworks created	In kind by CEC plus specialist inputs at £300 p.a ( £1500 over 5 years)	Number of workshop events Number of participants Targets to be quantified during Y1	FNH to record activity
<b>E4 Built Heritage Awareness</b> E5.1 Develop conservation programmes for volunteers (see under A4: Staffing & Volunteers) E5.2 Volunteer-led archaeology project (see under A4: Staffing & Volunteers)	All visitors, particularly those with an interest in built heritage	Increased understanding by visitors and volunteers of the built heritage at Cammo	FNH to develop programme Specialist Staff or volunteer archaeologists to deliver	Covered elsewhere (see under A4: Staffing & Volunteers)	Increase and diversify volunteer hours	FNH to record data

### Theme 6: Information & Access

Activity	Audiences	Outcomes	Resources	Costs	Targets	Evaluation
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Activity	Audiences	Outcomes	Resources	Costs	Targets	Evaluation
<b>F1 Information and Signage</b> Upgrade and rationalise signage into and around Cammo: improve interpretation signage and wayfinding , preserving low key characteristics	All visitors	Better information and orientation for visitors, facilitating access for all and presenting an improved image for Cammo	CEC FNH to oversee development	Included in Capital works (see Cost Plan)	Contribute to increased visitor target	Visitor feedback Visitor numbers
<b>F2 Published Materials</b> Produce information leaflets and guides to market Cammo to those without access to computer. To be distributed from Cammo Lodge and the new venues within the Walled Garden.	All users especially those without access to the internet and tourists	All users especially those without access to the internet and tourists	Brochure design/ writing and organisation of printing & distribution	£10k for brochure design, refreshment printing and distribution over 5 years	Raised awareness of Cammo, increased visitor numbers and wider range of visitor types	Visitor survey
<b>F3 Online info points</b> Provide online access to information about Cammo and all activities/ events within the Estate and specifically within the Walled Garden.	All users	Provide on-site facility for research and provision of essential site information, assisting orientation and understanding of Cammo	CEC FNH to oversee content development FNH to maintain up to date content	Included in Walled Garden facility costs	Establish user demands; grow levels and types of use	Visitor feedback

## Theme 7: Marketing

Activity	Audiences	Outcomes	Resources	Costs	Targets	Evaluation
<b>G1 Website</b> Develop Cammo content on CEC website to promote the site and activities; and attract volunteers	All users	Better access to information  Improved website coverage providing more immediate notice of activities/ events	Resource cost – money and time. CEC /FNH management of website	Website management by CEC	Website hits + conversion  Raised awareness of Cammo  Increased visitor numbers and wider range of visitor types	User Count  Website feedback
<b>G2 Promotion</b> Promote Cammo through established visitor and tourist services/attractions through use of online and published materials	All users	Better access to information  Raise awareness of Cammo to a wider audience	CEC FNH time input and outreach work	CEC FNH in-kind  And in advertising	Contribute to increased visitor target	Visitor count  Feedback from surveys

## 9 Management & Maintenance Review

### Management Structure

- 9.1 Detailed information on the management and maintenance of Cammo Estate can be found in the current Management Plan (2011-2020) and this should be referenced for additional information. In summary however the following section outlines the current management and maintenance arrangements operating at Cammo.
- 9.2 Cammo Estate is managed and maintained by the City of Edinburgh Council. It is designated as a Local Nature Reserve, and the emphasis over recent years has been its development and management for biodiversity, for quieter rural pursuits, recreation and cultural and natural heritage education. The Estate is well used by the local community who value it for its peace and tranquillity and as a rural and relatively 'wild' landscape, contrasting with other amenity parkland in the city. The Cammo landscape is however the product of design and it contains features and plantings dating from the early 18<sup>th</sup> century. This includes many veteran trees, some of which are the remnants of old avenues.

#### **Countryside Ranger Service**

- 9.3 Currently Cammo Estate is managed by the City of Edinburgh Forestry and Natural Heritage (FNH) within the Council's Parks, Greenspace and Cemeteries Department. Cammo is one of 14 sites managed by the Countryside Ranger Service whose emphasis is to conserve the natural, cultural and historical interest of the site, and to increase public understanding, appreciation and care of the countryside in and around Edinburgh.
- 9.4 Specific objectives for the Countryside Ranger Service include:
- Ensuring the sites are clean, safe and well maintained ;
  - Being responsive to the needs of local communities and customers;
  - Working in partnership with other organisations to the benefit of the sites and the local communities;
  - Working in conjunction with Friends and local community groups to ensure that the public are involved with the management of the sites;
  - Ensuring efficiency and high quality in the work undertaken.
- 9.5 The Countryside Ranger Service work in conjunction with other departments within the City of Edinburgh Council, these include: Forestry, Natural and Built Heritage arm of Planning, other members within the Parks and Greenspace unit and with the division of Localities, the West Locality Team which also include Taskforce. Also included are Archaeological Services (CECAS) who provide an archaeological curatorial advisory and management service for the Council.
- 9.6 The FNH also co-ordinate and provide guidance to a large number of volunteer groups, educational groups and organisations who carry out tasks throughout the twelve sites that it manages. Numerous groups undertake activities at Cammo as outlined in Chapter 8.
- 9.7 The Countryside Ranger Service promotes Cammo (and other sites) and informs the public about the site through its website, <http://www.edinburgh.gov.uk/naturalheritage>. This provides information about the site, how to get there, what activities or events are scheduled, and how to contact CEC to report any issues. Cammo is also promoted through the main CEC website and by published material produced by Forestry and Natural Heritage.

### **Cammo Advisory Committee**

- 9.8 Management decisions and actions are subject to review by the Cammo Estate Advisory Committee. The latter was established to ensure that the conditions of the Conservation Agreement between the City of Edinburgh Council and the National Trust for Scotland are met. The Council is obliged to consult the Advisory Committee before any developments are contemplated. The composition of the committee was intended to include two elected members of the Council and two members of the National Trust for Scotland's General Council or Executive Committee, one of the Trust's members being Chairman.
- 9.9 Since the committee's establishment other interests have been co-opted to attend meetings of the Group. Consequently the Cammo Advisory Committee now has representatives from the following:
- National Trust for Scotland
  - Cramond Association
  - Friends of Cammo
  - CEC Local Councillors
  - CEC Forestry and Natural Heritage
  - CEC Estates
  - CEC Committee Service
  - Cramond and Barnton Community Council

### **Friends of Cammo**

- 9.10 Cammo Estate has a Friends Group established in 1997. This group is actively involved in management decisions through its representation on the Advisory Committee and through regular liaisons with CEC Forestry and Natural Heritage. The Friends Group undertakes practical conservation and enhancement work within the Estate, they also staff the Visitor Centre on Sundays, produce of a quarterly newsletter and undertake litter picks. They also undertake fund raising for projects.

### **Management Plans**

- 9.11 Management has been guided and informed over recent years by a number of surveys and plans namely:
- Cammo Historic Landscape Survey and Management Plan 1999;
  - Cammo Estate Management Plan 2000- 2005
  - Cammo Estate Management Plan 2006-2011;
  - Cammo Estate Management Plan 2011-2020

### **Management Objectives**

- 9.12 The current 2011-2020 Management Plan defines five key objectives for the management of the site. These are:
- *To maintain existing archaeological and historical interest*
  - *To enhance archaeological and historical interest without significantly impacting existing ecological interest*
  - *To maintain existing ecological interest*
  - *To enhance ecological interest without significantly impacting existing historical interest*
  - *To enhance public enjoyment and understanding of the site within the ecological constraints.*

9.13 These objectives have been grouped into three categories for the purposes of organisational management, namely historical, ecological and social. The management operations proposed over the period 2011- 2020 are consequently structured under these headings and detailed annual prescriptions/ targets given for the main components of the landscape over this period.

## Maintenance

9.14 Maintenance operations within the Estate are undertaken in compliance with the 10 year Management Table which sets out the management/ maintenance requirements against the following criteria:

- Operational Objectives;
- Management Prescriptions;
- Location ( where these prescriptions apply) ;
- Details of Maintenance works required;
- Timing by Year ( 2011 to 2020);
- By Whom;
- Cost per Year;
- Revenue Cost
- Capital cost;

9.15 Maintenance operations are undertaken by the FNH and CEC Cleansing and Greenspace. Works fall broadly into the following types:

- Surveys and monitoring;
- Regular / routine maintenance e.g. litter picking ( Cleansing)and amenity grass maintenance ( Greenspace);
- Strategic conservation-management work undertaken incrementally and in phases eg woodland management; thinning, new tree planting, grassland management ( Greenspace) ;
- Specific conservation projects eg wall rebuilding/ stabilisation, canal dredging;

9.16 Emergency works eg removal of dangerous trees; wall repairs/ stabilisation.

9.17 Works are programmed and prioritised by the FNH and undertaken by the FNH team with support from CEC Greenspace/Cleansing for certain works. Alternatively, contractors may be used for specific types of work, or volunteers may be brought in to assist the FNH. Once the work is completed, records in the Parks Asset Data Base are brought up to date.

## Litter

9.18 There are currently four litter bins within the park. These are located at North Gate, Cammo Walk and two at the car park. They are emptied on a regular basis by Cleansing. If the Estate has been busy or has hosted an event, the Taskforce undertakes additional visits to empty full bins. Litter dropped in grounds is picked up by the Countryside Rangers while on their weekly patrols and any fly-tipping is removed as soon as possible by the Taskforce. The Friends of Cammo also undertake a litter sweep of the Estate once a year as part of their support programme.

## Survey work

9.19 A broad range of survey work has been undertaken over recent years involving CEC services, consultants and other organisations. These have addressed the historic designed landscape;

ecological interests, grasslands, woodlands, veteran trees, historic buildings and archaeology. Further surveys and monitoring works are proposed within the current management Plan.

### Assessment by Green Flag criteria

- 9.20 The Green Flag Award Scheme was launched in England in 1996 and has been since expanded to cover the rest of the UK. This award scheme was set up in response to concerns about the declining standard of parks and open spaces. It now sets the benchmark for management and maintenance standards driving improvements across the UK. Securing a Green Flag Award will be a requirement of the HLF grant award for Cammo Estate, and this will require the City of Edinburgh Council to meet the criteria applied by the Green Flag Award Scheme as set out in their Guidance Manual. These criteria are defined under the following headings/ objectives:
- a welcoming place;
  - healthy, safe and secure;
  - well maintained and clean;
  - sustainability;
  - conservation and heritage;
  - community Involvement;
  - marketing;
  - management.
- 9.21 The above criteria will be used in due course by Green Flag Judges to assess whether Cammo Estate is of a standard suitable to receive and sustain Green Flag Award status. HLF requires that Green Flag status is maintained for a minimum period of 7 years following completion of the conservation programme. Green Flag judging comprises a Desk Assessment of written material (eg Management Maintenance Plan and Conservation Management Plan) together with a Field Assessment of the site.
- 9.22 For the purposes of this outline plan, a 'field' assessment only has been undertaken by LUC using the format and criteria applied by Green Flag. This preliminary assessment confirms that the Estate is currently maintained to a fair standard, but that there is a need to address specific categories where standards are poor. The Outline Conservation and Management / Maintenance proposals set out preliminary proposals which would address the current deficiencies, and would conserve and enhance the designed landscape in a manner that would preserve the heritage merit whilst improving the user / visitor experience. . These measures are gauged to address the current Green Flag deficiencies (and heritage priorities) and to secure a Green Flag Award on completion of the works.

#### Maintenance Field Assessment Score Sheet for Cammo Estate

##### Scoring line

0 & 1	2,3 & 4	5 &6	7	8	9	10
Very Poor	Poor	Fair	Good	Very Good	Excellent	Exceptional

- 9.23 The following table includes LUC's field assessment scores and applies a traffic light grading:
- Red: poor & very poor standard
  - Orange: Fair standard
  - Green : Good to Exceptional Standard



LUC Field Assessment Summer 2017

<b>Welcoming Place</b>	<b>Score</b>	<b>Conservation and Heritage</b>	<b>Score</b>
1 Welcoming	6	19 Conservation of natural features, wild fauna, flora	8
2 Good and safe access	6	20 Conservation of landscape features	3
3 Signage	4	21 Conservation of buildings & structures	2
4 Equal access for all	6		
		<b>Community Involvement</b>	
<b>Healthy, Safe and Secure</b>		22 Community involvement in management & development	9
5 Safe equipment & facilities	6	23 Appropriate provision for community	9
6 Personal security in park	8		
7 Dog Fouling	2	<b>Marketing</b>	
8 Appropriate provision of facilities	4	24 Marketing & promotion	9
9 Quality of facilities	5	25 Provision of appropriate information	7
		26 Provision of appropriate educational/information	7
<b>Clean and Well Maintained</b>			
10 Litter & waste management	7	<b>Management</b>	
11 Grounds maintenance and horticulture	5	27 Implementation of management plan	7
12 Building & infrastructure maintenance	3		
13 Equipment maintenance	7	<b>Total</b>	<b>168</b>
		<b>Average (total divided by 27)</b>	<b>6.22</b>
<b>Sustainability</b>		<b>As a percentage</b>	<b>62.22%</b>
14 Environmental sustainability – Energy & natural resource conservation, pollution	7		
15 Pesticide use	9		
16 Peat use	9		
17 Waste minimisation	8		
18 Arboriculture & woodland management	5		

### Scoring

- Each category is scored out of 10
- Green Flag Assessments also have a desk assessment which counts for 30% - not applicable here
- The field assessment is therefore scored as a percentage
- The Green Flag Assessment adds the Desk Assessment and Field Assessment Scores together to give the overall score
- For a site to pass each section they must reach a minimum of 15 (50%) on the desk assessment and 42 (60%) on the field assessment.
- An overall score of 66% must be scored for a site to achieve Green Flag Award status

### Final score

	Field Assessment Score
Field assessment ; (minimum required for Green Flag Award = 42 ( equivalent to 60% out of available 70%))	43.55 points ( 62.22 % for Field Assessment alone)
	Anticipated Result: Pass by narrow margin

## Outline of increased/ improved Maintenance and Management required to support the Masterplan.

- 9.24 Currently Cammo Estate receives relatively 'light-touch' maintenance by the City of Edinburgh with assistance from volunteers and the Friends Group for a number of tasks. This approach has resulted in a landscape which has significant need for enhancement and more effective maintenance in a number of areas. The intention of CEC to restore and improve the condition of the designed landscape, together with the proposed HLF-supported restoration and development of the Walled Garden will leave Cammo in a better condition, and introduce new facilities / features that will require additional maintenance into the future. There is consequently a need for improved maintenance in order to protect the planned investments, and to prevent the landscape from deteriorating / returning to its current condition.
- 9.25 Areas and subjects that will require a review / increase in maintenance following completion of capital works improvements can be categorised as follows.

### Walled Garden Development and Maintenance

- 9.26 Restoration of the Walled Garden involving the introduction of new garden feature areas/ demonstration plots and associated buildings for horticultural and education uses, will demand additional management and maintenance from CEC with potential support from volunteers and special interest groups. The Walled Garden measures c. 1ha of which half could be developed and half left 'wild'. Additional Walled Garden maintenance will include:
- Periodic repairs to walls and gateways ( e.g. removal of self-seeded plants, repointing)
  - Maintenance of wild flower grasslands

- Maintenance and restocking of feature garden areas
- Maintenance of new paths and paved areas
- Upkeep of new buildings/ lean-tos including energy and water supply charges
- Maintenance of furniture elements in the Walled Garden

### **Wild Flower Meadows**

9.27 The majority of the fields are wild flower meadows which following the removal of livestock are not grazed but cut infrequently or left with no or little maintenance. The Friends Group has been tackling the maintenance of the grass areas, but additional measures are required to optimise their wild life potential, as well as to improve their amenity. Additional maintenance measures will include:

- Introduction of mowing for the wild flower areas , including removal of cuttings to promote diversity;
- Mowing of short grass paths for improved accessibility and potentially to relieve wear on desire lines across the fields;
- Preservation of historic tree lines and hedgerow lines to respect the designed landscape structure ie avoiding the introduction of adhoc planting or features which intrude on the historic landscape structure
- Localised Drainage improvements

### **Amenity Grass areas**

9.28 The masterplan proposes the introduction of amenity grass areas for events and passive recreation within the South Field and Walled Garden , together with continuation of amenity grass maintenance in the Cammo House, South Avenue and Pinetum areas. These areas will require:

- Amenity grass cutting by appropriate mowers at regular intervals;
- Associated spiking and repairs to damage by mammals and visitor activity
- More robust control of dog fouling and its removal from amenity grass areas

### **New Wetland Area**

9.29 The Masterplan proposes the introduction of a new wetland / waterbody with associated swales / drain connections in the lowest part of the South Field. This feature will introduce some additional maintenance requirements that include:

- Regular removal of wind-blown/ deposited litter from the water/ wetland areas
- Periodic cleaning of swales to remove any blockages and the build-up of leaf matter to maintain the through flow of surface water
- Regular inspections of timber board walk and periodic maintenance and repairs of any identified damage.

### **Woodland Management**

9.30 The Masterplan identifies the need to manage the woodland of Cammo in order to achieve age and species diversity, and to preserve the remaining spatial patterns of the historic designed landscape. Maintenance measures will include:

- Monitoring of tree diseases and the presence of disease carrying insects to inform management actions;

- Tree surgery to maintain the health and longevity of veteran trees , some of which represent the legacy of historic tree avenues;
- Ongoing control and selective removal of self-seeded invasive trees where they suppress ground flora, encroach on important historic spaces and/ or block views across the landscape from key access corridors;
- Restocking of depleted woodland areas where tree losses have compromised the integrity of the woodland belts and their historic space defining function.

### **Path Network & Drainage**

9.31 The Masterplan proposes a comprehensive upgrade of the path network to improve accessibility in the Estate. The capital works programme will consequently renew and upgrade path surfaces and address drainage problems where waterlogging currently occurs. Future maintenance will need to ensure that the upgraded conditions are retained through the following measures:

- Periodic renewal of wearing course aggregates for un-metalled paths and drives, removal of encroaching vegetation and localised repairs of scouring by runoff after heavy rain conditions;
- Monitoring of surface water runoff and land drainage conditions to inform the need for interventions eg land drain renewals, ditch clearance;
- Periodic repairs and patching of bitumen macadam surfaces as and when required;
- Periodic cleaning and repairs of paved areas as and when required.

### **Masonry & Brick Structures**

9.32 The Masterplan proposes the restoration, consolidation and repair of boundary walls and historic masonry structures in the Estate. The capital works programme will consequently repair the priority structures. Thereafter will be a need to monitor the condition of these structures and respond to any future signs of failure / instability, and to any damage by vandalism, animals or tree falls. Future maintenance will consequently need to include the following measures

- Regular inspections to identify any damage and especially any issues that might represent a health & safety hazard to visitors
- Organisation of emergency repairs to dangerous structures
- Repair programme for lower priority structures not addressed by the capital works project , possibly involving conservation volunteers/ trainees

### **Maintenance of furniture and play equipment**

9.33 The Masterplan proposes the introduction of new furniture, signs and play equipment within the Estate. This new equipment will require aftercare and safety inspections. Consequently these elements will require some additional maintenance including:

- Regular inspections to identify damage requiring repairs or replacement components
- Organisation of repairs or replacement of components by specialists;
- Regular cleaning and removal of any graffiti from furniture, play equipment and signs;
- Bi-annual application of protective coatings ( lacquer or oil) Maintenance and Management of new ornamental planting including bulbs

### **Management and maintenance of the new car parks**

9.34 The Masterplan proposes the introduction of new car parking areas within the South Field and North Field. The main car park will be in the South Field where it will allow easy access to the Walled Garden (Stable Block after restoration) and the amenity grass area in the South Field. In

the future there may be a requirement for management of parking for events in the Estate, and for maintenance of the car park. This will require some additional maintenance including:

- Occasional marshalling of the car park during events and in peak summer periods;
- Litter picking from the car park and surrounding area;
- Maintenance of the car park surfaces and the associated hedgerow framework;

#### **Litter/Graffiti/Dog Fouling/Anti-Social Behaviour**

9.35 The development of new facilities and conservation of Cammo's landscape will likely attract additional visitors to the Estate. The impending housing developments adjacent to Cammo will also add to the local catchment, bringing a new audience. These factors will potentially increase pressures on the site and require additional management and maintenance measures ; these may include the following:

- Increased frequency of litter picking;
- More robust control of dog fouling and management of professional dog walkers;
- Potential requirements for measures to deter vandalism and anti-social behaviour

#### **Management of Activities**

9.36 The establishment of the Activity programme, as outlined in the Activity Plan will necessitate additional management by CEC to coordinate a range of events and activities on site. This may include volunteering and the increased involvement of volunteers/ special interest groups in the conservation and maintenance of the Cammo landscape. The potential involvement of new organisations in the operation of facilities ( eg in the Walled garden and in the Lodge house) will also require the involvement of third parties in management decisions.

## **Additional Management / Maintenance Costs**

9.37 The additional management and maintenance inputs outlined above will require the commitment of additional resources to Cammo. These will comprise additional maintenance staff inputs, together with machinery, materials and a number of specialist inputs. These additional costs are estimated as follows:

- Additional maintenance staff inputs : 0.5 FTE : £12k p.a
- Additional materials (arboricultural, horticultural and hard landscape ): £3k p.a
- Additional machinery hire / use in kind: £1k p.a
- External Specialist repairs: £1k p.a
- Additional cost of services to new developments ( eg electricity/ water supply): £1k p.a
- Additional building maintenance & insurance costs £1k p.a
- **Total Estimated uplift in maintenance costs: £19k**

## 10 Adoption and Next Steps

- 10.1 This report is intended to guide the future conservation and management of the Cammo Estate as a whole, but it is recognised that works will have to be phased or delivered incrementally subject to funding availability. It is CEC's intention to submit the Walled Garden component of this plan for Heritage Lottery Fund support, and to undertake the conservation and development works in the remaining areas of the Estate as parallel or sequential projects with CEC and partner funding. This Plan is consequently submitted as the overarching masterplan for adoption by the City of Edinburgh Council.
- 10.2 The conservation and development of the Walled Garden as a stand-alone HLF funded project is the subject of a Heritage Grant Application. This plan provides the context for this application, and the Addendum Report: 'Cammo Walled Garden Heritage Lottery Fund' provides a summary of the proposals for this project. The latter is meant for cross referencing with this report, but provides a distillation of the proposals for the Walled Garden only. The scope of work contained in the Walled Garden Addendum will be subject to adoption by City of Edinburgh Council as the basis for the Round 1 HLF application. If successful the City of Edinburgh Council will progress to the Development Phase, and prepare more detailed proposals for the Walled Garden project.